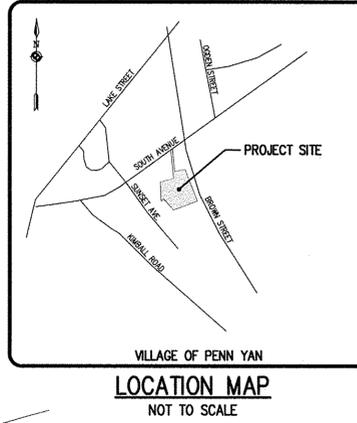


P: 12803 Drawings V.Penn 2503 - Design Base.dwg

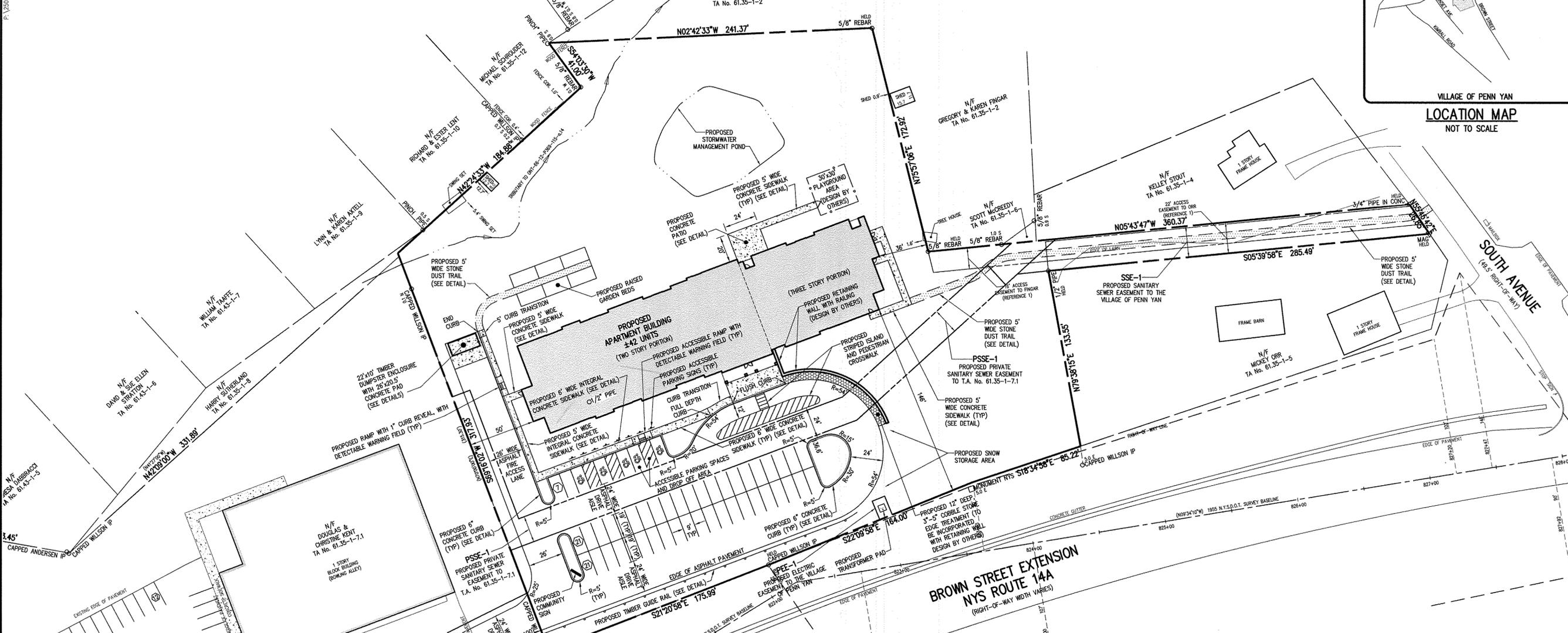
LEGEND

	BOUNDARY LINE
	CENTERLINE
	SETBACK LINE
	PROPERTY MARKER FOUND
	EXISTING EASEMENT LINE
	PROPOSED EASEMENT LINE



Drawing Alteration
 The following is an exception from the New York State Education Law Article 145 Section 7209 and applies to this drawing:
 "It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way. If an item bearing the seal of an engineer or land surveyor shall be altered, the altering engineer or land surveyor shall affix to the item his seal and the notation "altered" followed by his signature and the date of such alteration, and a specific description of the alteration."

NO.	REVISIONS	DATE	BY
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1			



SITE NOTES:

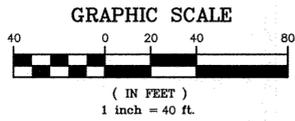
- PROJECT AREA: ± 3.6 ACRES
- EXISTING ZONING: GC (GENERAL COMMERCIAL)
- PROPOSED USE: PROPOSED THREE STORY 42 UNIT RESIDENTIAL APARTMENT BUILDING
 FIRST FLOOR: 6,730 G.S.F.
 SECOND FLOOR: 18,715 G.S.F.
 THIRD FLOOR: 18,715 G.S.F.
 TOTAL: 44,160 G.S.F.
- LOT STANDARDS:

	REQUIRED / ALLOWED	PROPOSED:
SETBACKS:		
FRONT	N/A	±136'
SIDE	N/A	±36'
REAR	N/A	±111'
MAXIMUM BUILDING HEIGHT	40'	40'
MAXIMUM LOT COVERAGE:	40%	±12.5%
MINIMUM LOT WIDTH	50'	±425'
MINIMUM LOT AREA PER DWELLING UNIT	6,000 S.F.	±3,730 S.F.*
PARKING	42 (ONE SPACE PER DWELLING UNIT)	49 SPACES (INCLUDING 5 ACCESSIBLE SPACES)

- * A VARIANCE WAS GRANTED BY THE VILLAGE OF PENN YAN ZONING BOARD OF APPEALS ON AUGUST 30, 2016 TO ALLOW AN INCREASE IN THE NUMBER OF RESIDENTIAL UNITS ALLOWED PER CODE TO ALLOW 42-UNITS.
- THERE ARE NO IDENTIFIED 100 YEAR FLOOD PLAIN LIMITS ON THE PROPERTY.
 - ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE VILLAGE OF PENN YAN.
 - PRESENT NUMBER OF EMPLOYEES = 0. FUTURE ANTICIPATED ONSITE EMPLOYEES = 3.

FOR VILLAGE USE ONLY

PROJECT MANAGER
 L. SWEDROCK
 PROJECT ENGINEER
 R. DESTRO
 DRAWN BY
 R. DESTRO
 SCALE
 1"=40'
 DATE ISSUED
 SEPTEMBER 2016
 PROJECT NO.
 2503
 DRAWING NO.
 02



NOT APPROVED
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 PHONE 885-3777340
 FAX 885-3777389
 10 LIFT BRIDGE LANE EAST
 FAIRPORT, NEW YORK 14450
 WWW.BMEPCON.COM



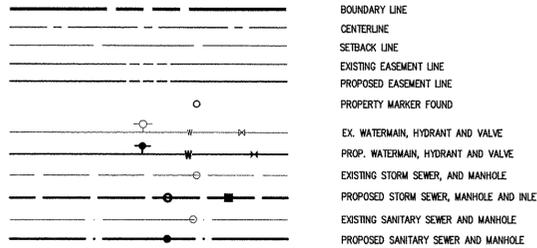
KEUKA GARDENS
 VILLAGE OF PENN YAN, Yates County, NEW YORK STATE
 KEUKA GARDENS, LLC
 100 W. MAIN ST., SUITE 100
 ROCHESTER, NEW YORK 14604

FINAL SITE PLAN
 PROJECT LOCATION CLIENT DRAWING TITLE

PROJECT MANAGER
 L. SWEDROCK
 PROJECT ENGINEER
 R. DESTRO
 DRAWN BY
 R. DESTRO
 SCALE
 1"=40'
 DATE ISSUED
 SEPTEMBER 2016
 PROJECT NO.
 2503
 DRAWING NO.
 02

PHELPS & CORHAM PURCHASE, TOWNSHIP 7, RANGE 1, TOWN LOT 39, TAX MAP NUMBER 061.35-1-17

LEGEND



BOUNDARY LINE
 CENTERLINE
 SETBACK LINE
 EXISTING EASEMENT LINE
 PROPOSED EASEMENT LINE
 PROPERTY MARKER FOUND
 EX. WATERMAIN, HYDRANT AND VALVE
 PROP. WATERMAIN, HYDRANT AND VALVE
 EXISTING STORM SEWER, AND MANHOLE
 PROPOSED STORM SEWER, MANHOLE AND INLET
 EXISTING SANITARY SEWER AND MANHOLE
 PROPOSED SANITARY SEWER AND MANHOLE

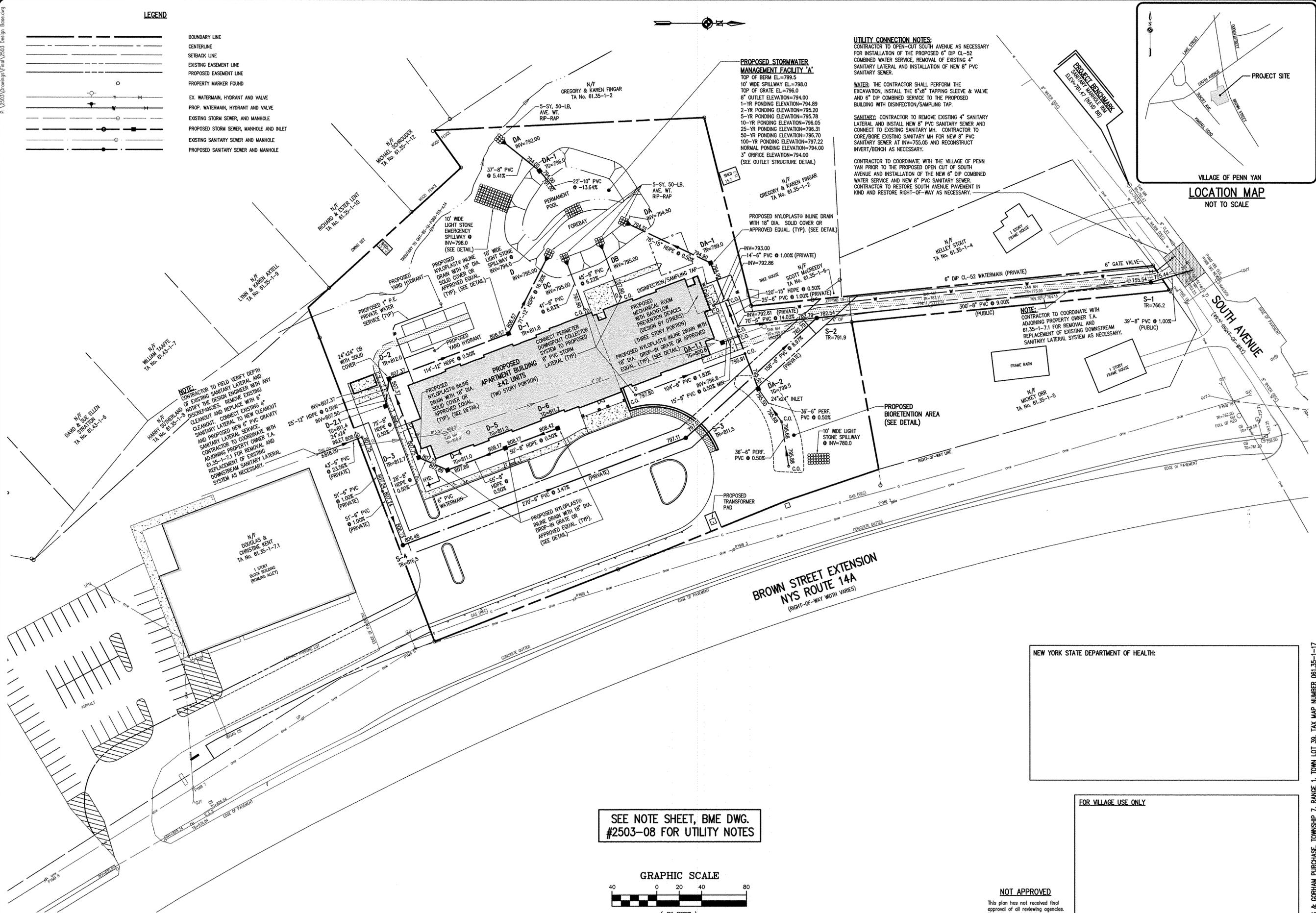
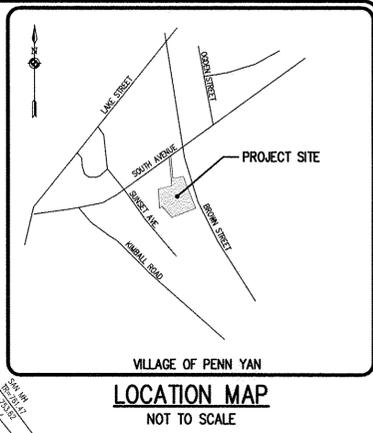
NOTE:
 CONTRACTOR TO FIELD VERIFY DEPTH OF EXISTING SANITARY LATERAL AND NOTIFY THE DESIGN ENGINEER WITH ANY DISCREPANCIES. REMOVE EXISTING SANITARY LATERAL TO NEW CLEANOUT AND PROPOSED NEW 6" PVC GRAVITY SANITARY LATERAL SERVICE WITH CONTRACTOR TO COORDINATE WITH ADJOINING PROPERTY OWNER AND REPLACEMENT OF EXISTING DOWNSTREAM SANITARY LATERAL SYSTEM AS NECESSARY.

UTILITY CONNECTION NOTES:
 CONTRACTOR TO OPEN-CUT SOUTH AVENUE AS NECESSARY FOR INSTALLATION OF THE PROPOSED 6" DIP CL-52 COMBINED WATER SERVICE, REMOVAL OF EXISTING 4" SANITARY LATERAL AND INSTALLATION OF NEW 8" PVC SANITARY SEWER.
WATER: THE CONTRACTOR SHALL PERFORM THE EXCAVATION, INSTALL THE 6" X8" TAPPING SLEEVE & VALVE AND 6" DIP COMBINED SERVICE TO THE PROPOSED BUILDING WITH DISINFECTION/SAMPLING TAP.
SANITARY: CONTRACTOR TO REMOVE EXISTING 4" SANITARY LATERAL AND INSTALL NEW 8" PVC SANITARY SEWER AND CONNECT TO EXISTING SANITARY MH. CONTRACTOR TO CORE/DIG EXISTING SANITARY MH FOR NEW 8" PVC SANITARY SEWER AT INV=755.05 AND RECONSTRUCT INVERT/BENCH AS NECESSARY.
 CONTRACTOR TO COORDINATE WITH THE VILLAGE OF PENN YAN PRIOR TO THE PROPOSED OPEN CUT OF SOUTH AVENUE AND INSTALLATION OF THE NEW 6" DIP COMBINED WATER SERVICE AND NEW 8" PVC SANITARY SEWER. CONTRACTOR TO RESTORE SOUTH AVENUE PAVEMENT IN KIND AND RESTORE RIGHT-OF-WAY AS NECESSARY.

PROPOSED STORMWATER MANAGEMENT FACILITY 'A'
 TOP OF BERM EL.=799.5
 10' WIDE SPILLWAY EL.=798.0
 TOP OF GRATE EL.=796.0
 8" OUTLET ELEVATION=794.00
 1-YR PONDING ELEVATION=794.89
 2-YR PONDING ELEVATION=795.20
 5-YR PONDING ELEVATION=795.78
 10-YR PONDING ELEVATION=796.05
 25-YR PONDING ELEVATION=796.31
 50-YR PONDING ELEVATION=796.70
 100-YR PONDING ELEVATION=797.22
 NORMAL PONDING ELEVATION=794.00
 3" ORIFICE ELEVATION=794.00
 (SEE OUTLET STRUCTURE DETAIL)

PROPOSED NYLOPLAST® INLINE DRAIN WITH 18" DIA. SOLID COVER OR APPROVED EQUAL (TYP). (SEE DETAIL)

BRACKET BRICKMARK
 ELEV.=74.4' (VND 88)



NO.	REVISIONS	DATE	BY
7			
6			
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4			
3			
2			
1			

BME ASSOCIATES
 ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS
 10 LIFT BRIDGE LANE EAST
 FARMERSBURGH, NEW YORK 14604
 WWW.BME-CA.COM
 PHONE 585-377-7560
 FAX 585-377-7569

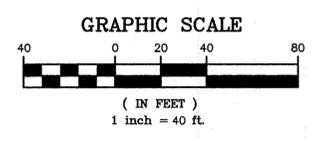


KEUKA GARDENS
 VILLAGE OF PENN YAN, Yates County, NEW YORK STATE
 KEUKA GARDENS, LLC
 ROCHESTER, NEW YORK 14604
FINAL UTILITY PLAN

NEW YORK STATE DEPARTMENT OF HEALTH:

FOR VILLAGE USE ONLY

SEE NOTE SHEET, BME DWG. #2503-08 FOR UTILITY NOTES



NOT APPROVED
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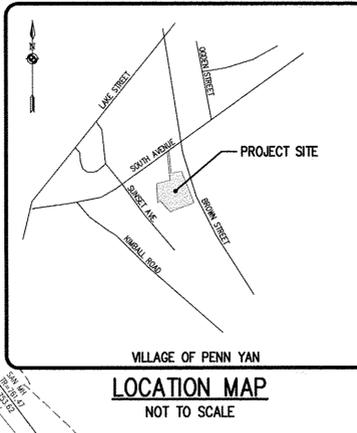
PROJECT	KEUKA GARDENS
LOCATION	VILLAGE OF PENN YAN, Yates County, NEW YORK STATE
CLIENT	KEUKA GARDENS, LLC ROCHESTER, NEW YORK 14604
DRAWING TITLE	FINAL UTILITY PLAN
PROJECT MANAGER	L. SWEDROCK
PROJECT ENGINEER	R. DESTRO
DRAWN BY	R. DESTRO
SCALE	DATE ISSUED
1"=40'	SEPTEMBER 2016
PROJECT NO.	
	2503
DRAWING NO.	03

P:\2503 Drawings\Final\2503_DWG.dwg

LEGEND

- BOUNDARY LINE
- CENTERLINE
- SETBACK LINE
- PROPERTY MARKER FOUND
- EX. WATERMAIN, HYDRANT AND VALVE
- PROP. WATERMAIN, HYDRANT AND VALVE
- EXISTING STORM SEWER, AND MANHOLE
- PROPOSED STORM SEWER, MANHOLE AND INLET
- EXISTING SANITARY SEWER AND MANHOLE
- PROPOSED SANITARY SEWER AND MANHOLE
- EXISTING TREELINE
- PROPOSED TREE LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
- PROPOSED FINISHED GRADE

336
336
336x5
FG = 338.0



Drawing Alteration
The following is an excerpt from the New York State Education Law Article 145 Section 7029 and applies to this drawing:
"It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way, if an item bearing the seal of an engineer or land surveyor shall refer to the item by his seal and the notation 'altered by' followed by his signature and the date of such alteration, and a specific description of the alteration."

REVISIONS	DATE	BY
7		
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5		
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1		

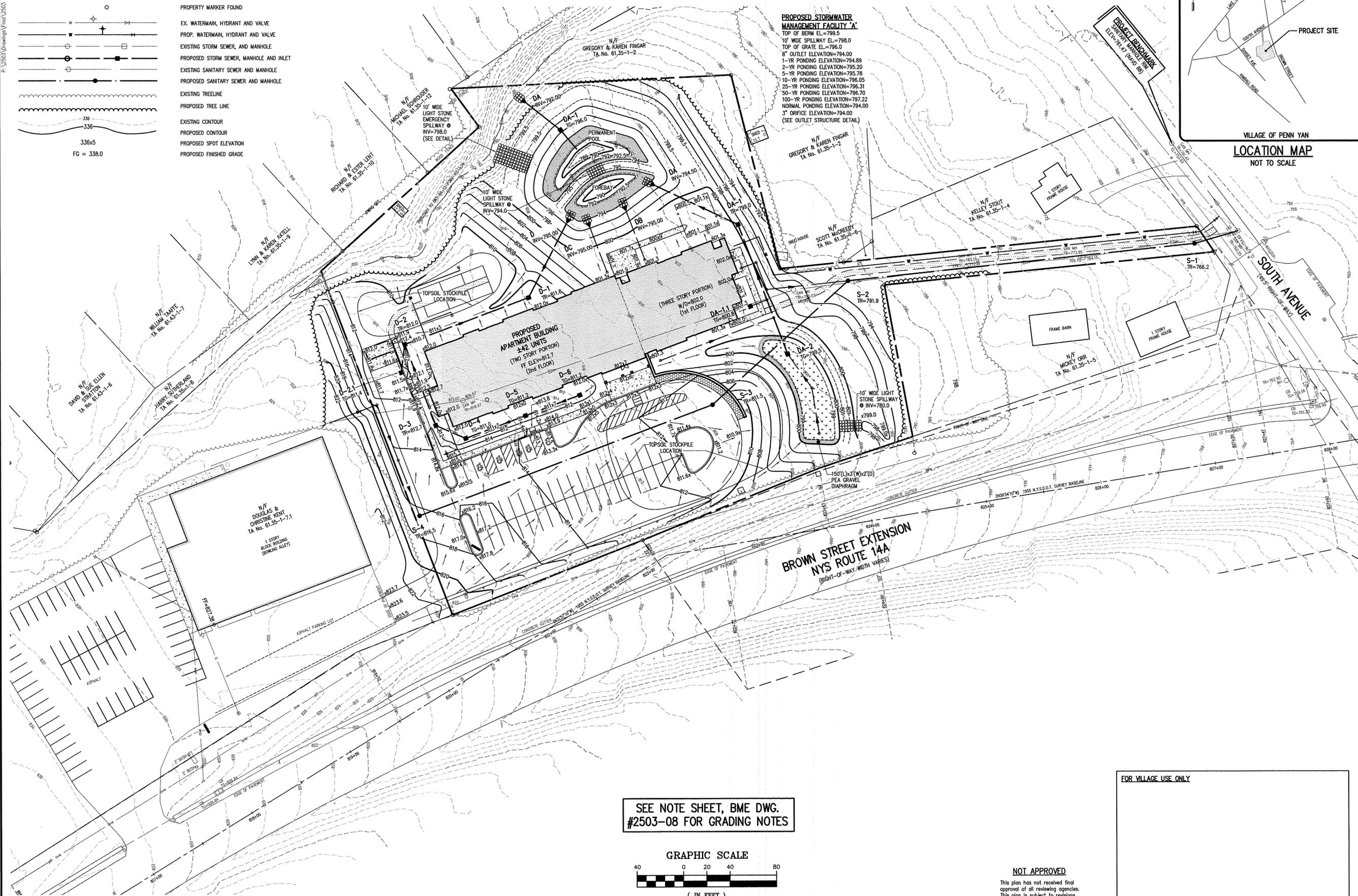
BME ASSOCIATES
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS
PHONE 585-377-7560
FAX 585-377-7509
10 LIFT BRIDGE LANE EAST
FAIRPORT, NEW YORK 14450
WWW.BME.COM



KEUKA GARDENS
VILLAGE OF PENN YAN, YATES COUNTY, NEW YORK STATE
KEUKA GARDENS, LLC
NEW YORK 14604
ROCHESTER, NEW YORK 14604

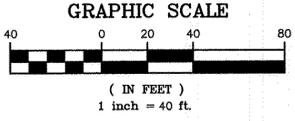
PROJECT LOCATION CLIENT DRAWING TITLE

PROJECT MANAGER: L. SWEDROCK
PROJECT ENGINEER: R. DESTRO
DRAWN BY: R. DESTRO
SCALE: 1"=40'
DATE ISSUED: SEPTEMBER 2016
PROJECT NO.: 2503
DRAWING NO.: 04



PROPOSED STORMWATER MANAGEMENT FACILITY 'A'
TOP OF BERM EL.=799.5
10' WIDE SPILLWAY EL.=798.0
TOP OF GRATE EL.=796.0
8" OUTLET ELEVATION=794.00
1-YR PONDING ELEVATION=794.89
2-YR PONDING ELEVATION=795.20
5-YR PONDING ELEVATION=795.78
10-YR PONDING ELEVATION=796.05
25-YR PONDING ELEVATION=796.31
50-YR PONDING ELEVATION=796.70
100-YR PONDING ELEVATION=797.22
NORMAL PONDING ELEVATION=794.00
3" ORIFICE ELEVATION=794.00
(SEE OUTLET STRUCTURE DETAIL)

SEE NOTE SHEET, BME DWG. #2503-08 FOR GRADING NOTES



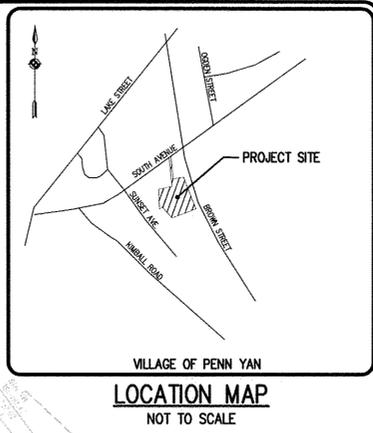
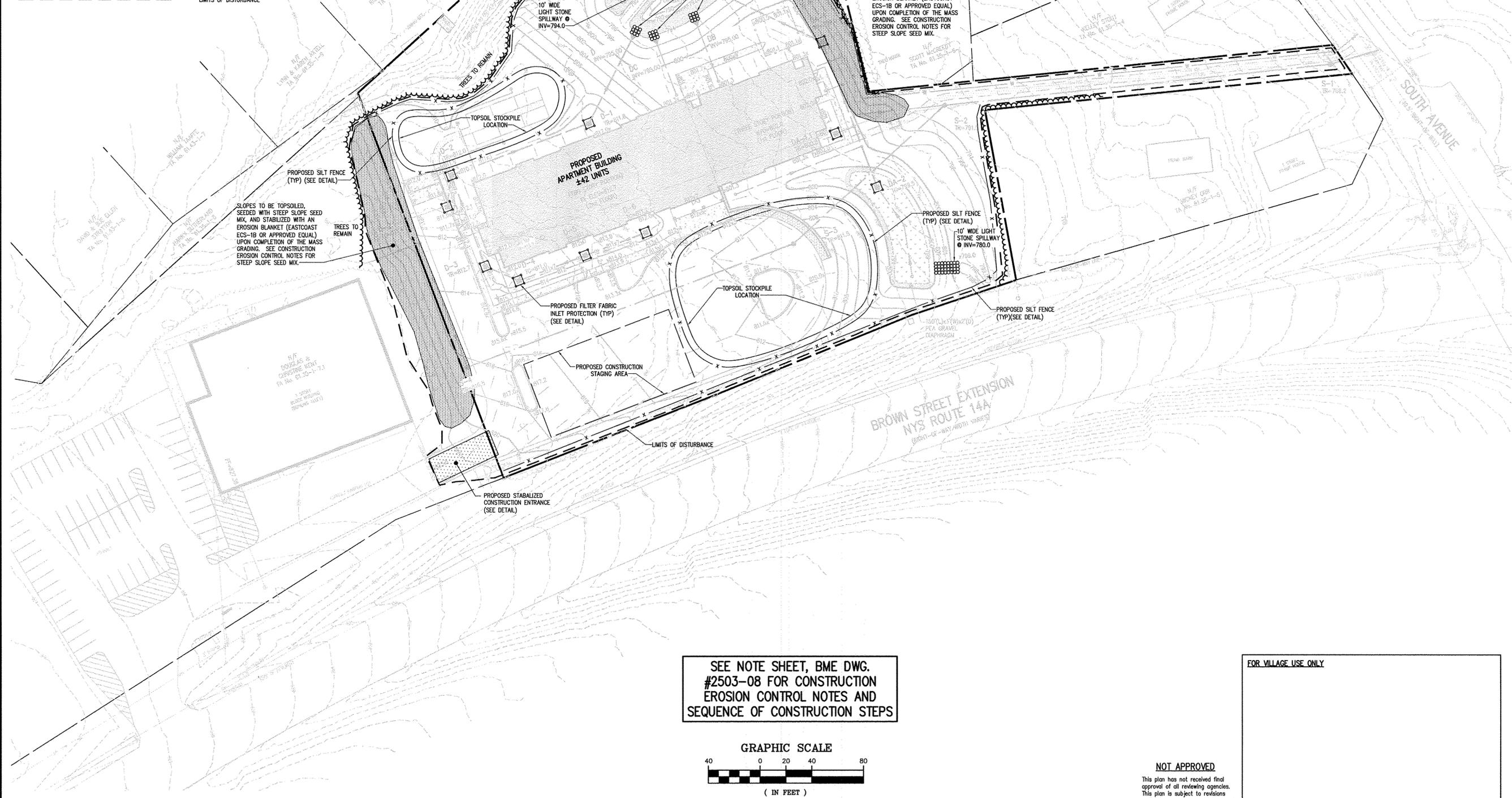
NOT APPROVED
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FOR VILLAGE USE ONLY

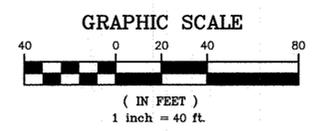
LEGEND

	BOUNDARY LINE
	CENTERLINE
	SETBACK LINE
	PROPERTY MARKER FOUND
	EX. WATERMAIN, HYDRANT AND VALVE
	PROP. WATERMAIN, HYDRANT AND VALVE
	EXISTING STORM SEWER, MANHOLE AND INLET
	PROPOSED STORM SEWER, MANHOLE AND INLET
	EXISTING SANITARY SEWER AND MANHOLE
	PROPOSED SANITARY SEWER AND MANHOLE
	EXISTING TREE LINE
	PROPOSED TREE LINE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED SPOT ELEVATION
	PROPOSED FINISHED GRADE
	PROPOSED INLET PROTECTION
	PROPOSED SILT FENCE
	LIMITS OF DISTURBANCE

BOUNDARY LINE
 CENTERLINE
 SETBACK LINE
 PROPERTY MARKER FOUND
 EX. WATERMAIN, HYDRANT AND VALVE
 PROP. WATERMAIN, HYDRANT AND VALVE
 EXISTING STORM SEWER, MANHOLE AND INLET
 PROPOSED STORM SEWER, MANHOLE AND INLET
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 PROPOSED TREE LINE
 EXISTING CONTOUR
 PROPOSED CONTOUR
 PROPOSED SPOT ELEVATION
 PROPOSED FINISHED GRADE
 PROPOSED INLET PROTECTION
 PROPOSED SILT FENCE
 LIMITS OF DISTURBANCE



SEE NOTE SHEET, BME DWG. #2503-08 FOR CONSTRUCTION EROSION CONTROL NOTES AND SEQUENCE OF CONSTRUCTION STEPS



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Drawing Alteration
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 "It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way, if an item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall affix to the item his seal and the notation "altered by" followed by his signature and the date of such alteration, and a specific description of the alteration."

NO.	REVISIONS	DATE	BY
7			
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BME ASSOCIATES
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 10 DUFF BRIDGE LANE EAST
 FARMPORT ARMY VILLAGE 14450
 WWW.BME.COM
 PHONE 585-377-7580
 FAX 585-377-7589



KEUKA GARDENS
 VILLAGE OF PENN YAN, Yates County, New York State
 KEUKA GARDENS, LLC
 ROCHESTER, NEW YORK 14604
FINAL
CONSTRUCTION EROSION CONTROL PLAN

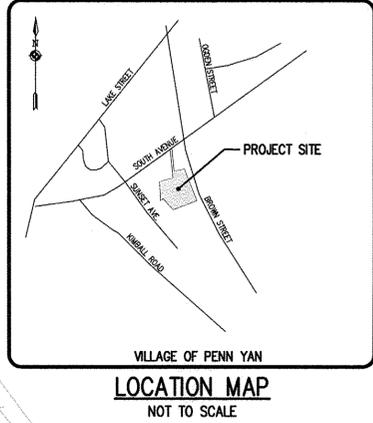
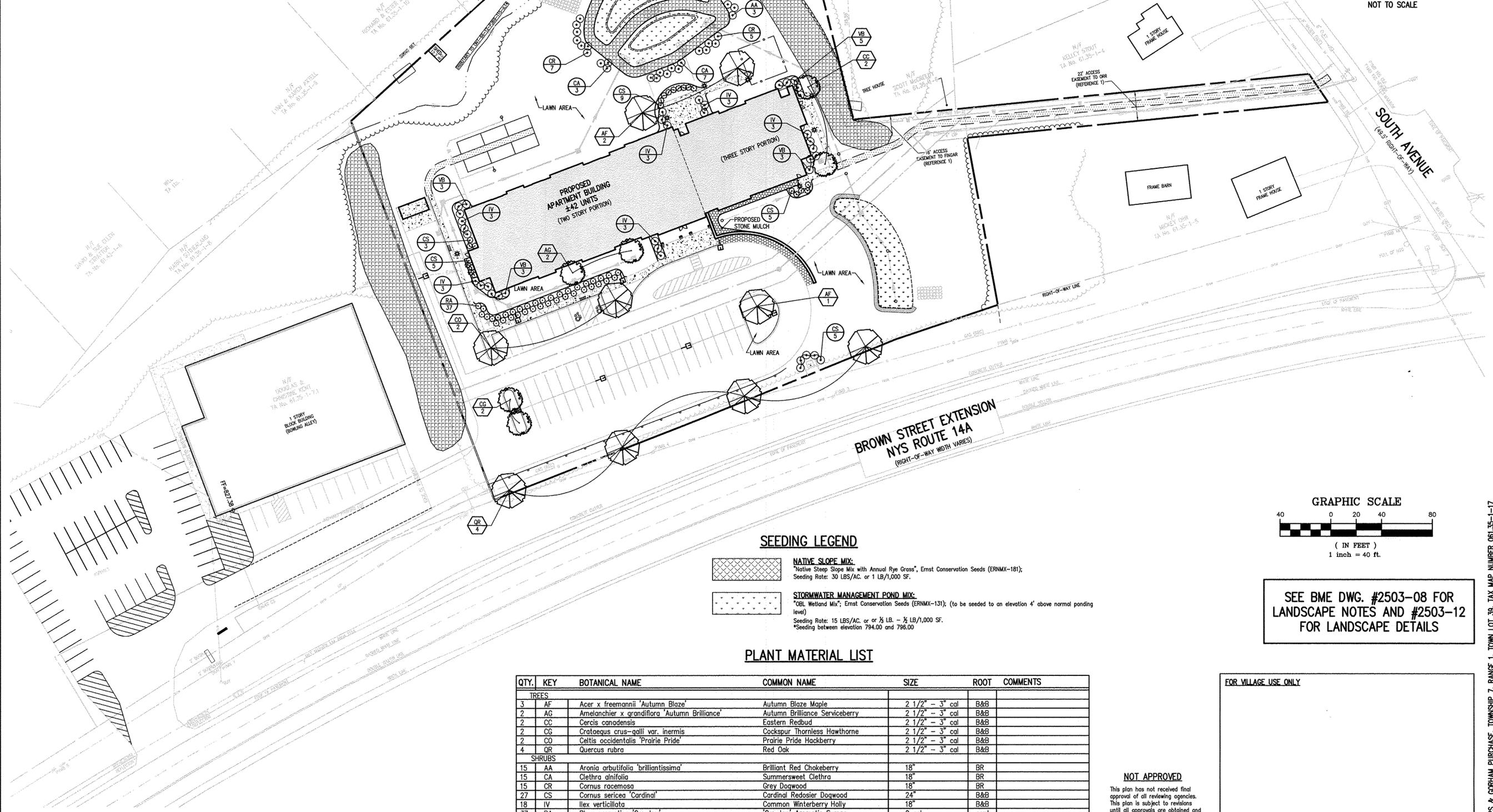
PROJECT: KEUKA GARDENS
 LOCATION: VILLAGE OF PENN YAN, YATES COUNTY, NEW YORK STATE
 CLIENT: KEUKA GARDENS, LLC

PROJECT MANAGER: L. SWEDROCK
 PROJECT ENGINEER: R. DESTRO
 DRAWN BY: R. DESTRO
 SCALE: 1" = 40'
 DATE ISSUED: SEPTEMBER 2016
 PROJECT NO.: 2503
 DRAWING NO.: 05

P:\2503\Drawings\Final\2503 Landscape Drawing

LEGEND

- BOUNDARY LINE
- CENTERLINE
- SETBACK LINE
- PROPERTY MARKER FOUND
- EX. WATERMAIN, HYDRANT AND VALVE
- PROP. WATERMAIN, HYDRANT AND VALVE
- EXISTING STORM SEWER, AND MANHOLE
- PROPOSED STORM SEWER, MANHOLE AND INLET
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- EXISTING TREELINE
- PROPOSED TREE LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
- PROPOSED FINISHED GRADE



Drawing Alteration
The following is an example from the New York State Education Law Article 145 Section 7209 and applies to this drawing:
"It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way. If an item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall affix to the item his seal and the notation 'altered by' followed by his signature and the date of such alteration, and a specific description of the alteration."

NO.	REVISIONS	DATE	BY
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1			

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ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS
PHONE 585-377-7380
FAX 585-377-7389
10 LIFT BRIDGE LANE EAST
FAIRPORT, NEW YORK 14640
WWW.BMEPC.COM



KEUKA GARDENS
VILLAGE OF PENN YAN, Yates County, New York State
KEUKA GARDENS, LLC
ROCHESTER, NEW YORK 14604

LANDSCAPE PLAN
DRAWING TITLE

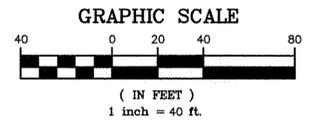
PROJECT: PHELPS & GORHAM PURCHASE, TOWNSHIP 7, RANGE 1, TOWN LOT 39, TAX MAP NUMBER 061.35-1-1-17
LOCATION: VILLAGE OF PENN YAN, Yates County, New York State
CLIENT: KEUKA GARDENS, LLC
PROJECT MANAGER: L. SWEDROCK
PROJECT ENGINEER: R. DESTRO
DRAWN BY: L. ROCKCASTLE
SCALE: 1"=40'
DATE ISSUED: SEPTEMBER 2016
PROJECT NO.: 2503
DRAWING NO.: 06

SEEDING LEGEND

- NATIVE SLOPE MIX:**
"Native Slope Mix with Annual Rye Grass", Ernst Conservation Seeds (ERNMX-181);
Seeding Rate: 30 LBS/AC. or 1 LB/1,000 SF.
- STORMWATER MANAGEMENT POND MIX:**
"OBL Wetland Mix", Ernst Conservation Seeds (ERNMX-131); (to be seeded to an elevation 4' above normal ponding level)
Seeding Rate: 15 LBS/AC. or ½ LB. - ½ LB/1,000 SF.
*Seeding between elevation 794.00 and 796.00

PLANT MATERIAL LIST

QTY.	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	COMMENTS
TREES						
3	AF	Acer x freemannii 'Autumn Blaze'	Autumn Blaze Maple	2 1/2" - 3" cal	B&B	
2	AG	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	2 1/2" - 3" cal	B&B	
2	CC	Cercis canadensis	Eastern Redbud	2 1/2" - 3" cal	B&B	
2	CG	Crataegus crus-galli var. inermis	Cockspur Thornless Hawthorne	2 1/2" - 3" cal	B&B	
2	CO	Celtis occidentalis 'Prairie Pride'	Prairie Pride Hackberry	2 1/2" - 3" cal	B&B	
4	QR	Quercus rubra	Red Oak	2 1/2" - 3" cal	B&B	
SHRUBS						
15	AA	Aronia arbutifolia 'brilliantissima'	Brilliant Red Chokeberry	18"	BR	
15	CA	Clethra alnifolia	Summersweet Clethra	18"	BR	
15	CR	Cornus racemosa	Grey Dogwood	18"	BR	
27	CS	Cornus sericea 'Cardinal'	Cardinal Redosier Dogwood	24"	B&B	
18	IV	Ilex verticillata	Common Winterberry Holly	18"	B&B	
37	RA	Rhus aromatica 'Gro-low'	'Gro-low' Aromatic Sumac	2 gal	cont	
14	VB	Viburnum x burkwoodii 'Mohawk'	Mohawk Burkwood Viburnum	24"	B&B	



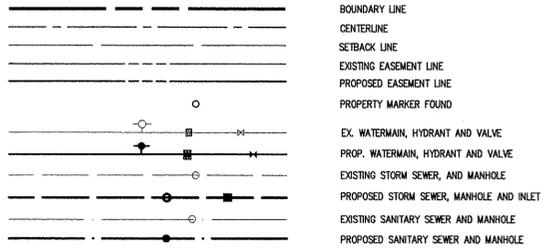
SEE BME DWG. #2503-08 FOR LANDSCAPE NOTES AND #2503-12 FOR LANDSCAPE DETAILS

FOR VILLAGE USE ONLY

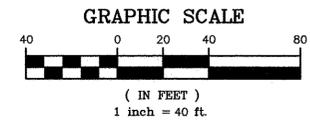
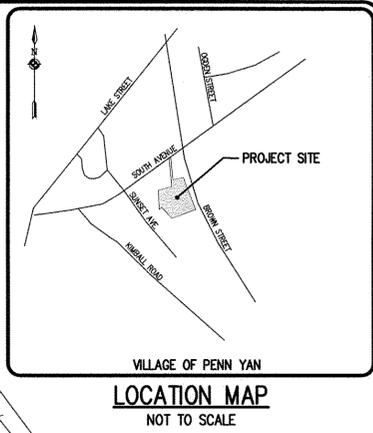
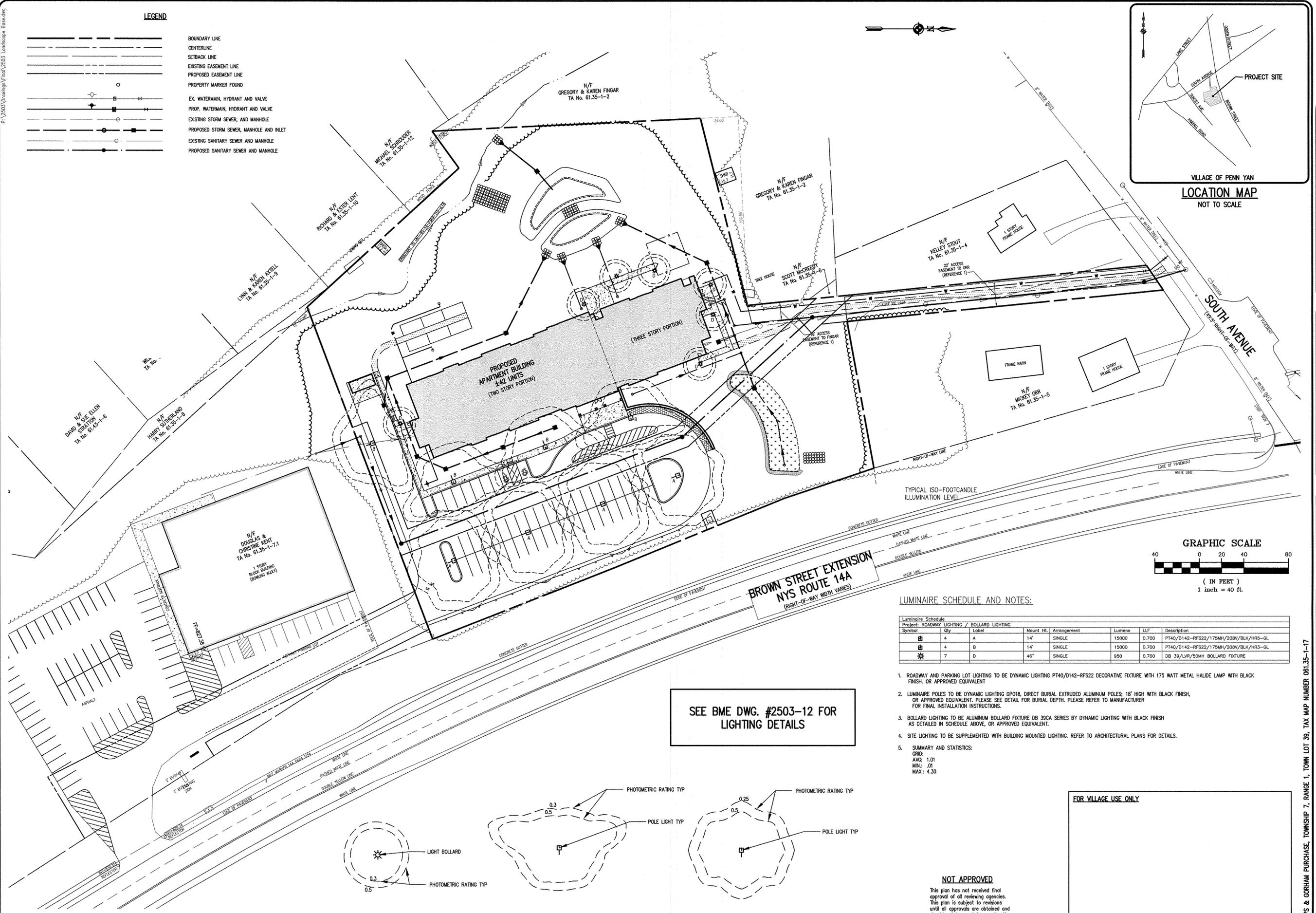
NOT APPROVED

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LEGEND



BOUNDARY LINE
 CENTERLINE
 SETBACK LINE
 EXISTING EASEMENT LINE
 PROPOSED EASEMENT LINE
 PROPERTY MARKER FOUND
 EX. WATERMAIN, HYDRANT AND VALVE
 PROP. WATERMAIN, HYDRANT AND VALVE
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 PROPOSED STORM SEWER, MANHOLE AND INLET
 EXISTING SANITARY SEWER AND MANHOLE
 PROPOSED SANITARY SEWER AND MANHOLE

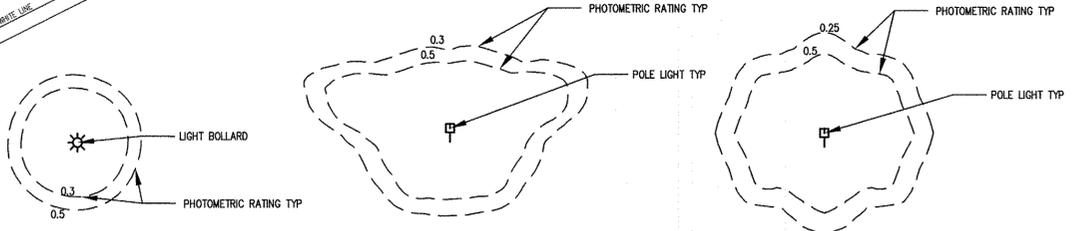


LUMINAIRE SCHEDULE AND NOTES:

Symbol	Qty	Label	Mount Ht.	Arrangement	Lumens	LLF	Description
☐	4	A	14'	SINGLE	15000	0.700	PT40/D142-RFS22/175MH/20BV/BLK/HR5-GL
☐	4	B	14'	SINGLE	15000	0.700	PT40/D142-RFS22/175MH/20BV/BLK/HR3-GL
☼	7	D	46"	SINGLE	950	0.700	DB 39/LVR/50MH BOLLARD FIXTURE

- ROADWAY AND PARKING LOT LIGHTING TO BE DYNAMIC LIGHTING PT40/D142-RFS22 DECORATIVE FIXTURE WITH 175 WATT METAL HALIDE LAMP WITH BLACK FINISH, OR APPROVED EQUIVALENT.
- LUMINAIRE POLES TO BE DYNAMIC LIGHTING DPO18, DIRECT BURIAL EXTRUDED ALUMINUM POLES; 18' HIGH WITH BLACK FINISH, OR APPROVED EQUIVALENT. PLEASE SEE DETAIL FOR BURIAL DEPTH. PLEASE REFER TO MANUFACTURER FOR FINAL INSTALLATION INSTRUCTIONS.
- BOLLARD LIGHTING TO BE ALUMINUM BOLLARD FIXTURE DB 39CA SERIES BY DYNAMIC LIGHTING WITH BLACK FINISH AS DETAILED IN SCHEDULE ABOVE, OR APPROVED EQUIVALENT.
- SITE LIGHTING TO BE SUPPLEMENTED WITH BUILDING MOUNTED LIGHTING. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
- SUMMARY AND STATISTICS:
 GRID:
 AVG: 1.01
 MIN: .01
 MAX: 4.30

SEE BME DWG. #2503-12 FOR LIGHTING DETAILS



PHOTOMETRIC KEY: (NOT TO SCALE)

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FOR VILLAGE USE ONLY

Drawing Alteration
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 "It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way. If an item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall affix to the item his seal and the notation 'altered by' followed by his signature and the date of such alteration, and a specific description of the alteration."

NO.	REVISIONS	DATE	BY
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BME ASSOCIATES
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 TO LIFT BRIDGELANE EAST
 FARMINGTON CITY, NY 14450
 WWW.BMEPCOM
 PHONE 585-377-7560
 FAX 585-377-7899



KEUKA GARDENS
 VILLAGE OF PENN YAN, Yates County, New York State
 KEUKA GARDENS, LLC
 ROCHESTER, NEW YORK 14604
 PROJECT LOCATION CLIENT DRAWING TITLE

PROJECT MANAGER: L. SWEDROCK
 PROJECT ENGINEER: R. DESTRO
 DRAWN BY: L. ROCKCASTLE
 SCALE: 1"=40'
 DATE ISSUED: SEPTEMBER 2016
 PROJECT NO.: 2503
 DRAWING NO.: 07

PHEPS & GORHAM PURCHASE, TOWNSHIP 7, RANGE 1, TOWN LOT 39, TAX MAP NUMBER 061.35-1-17

LANDSCAPE NOTES:

- 1. ALL PLANTS SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS AS NOTED IN THE LAST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERYMEN, ANSI Z60.1.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN QUANTITY TAKEOFFS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING UNDERGROUND UTILITIES PRIOR TO THE START OF CONSTRUCTION.
...
11. PROPOSED PLANT MATERIALS SHALL BE FIELD LOCATED, AND THE CONTRACTOR SHALL PERFORM A ROUGH STAKEOUT OF PLANTINGS FOR REVIEW BY OWNER PRIOR TO PLANTING.

Table with 4 columns: Plant Name, % by Weight, % by Purity, % Germ. Includes entries for 'PENNFINE' & 'MORNING STAR', 'PERENNIAL RYE GRASS', etc.

UTILITY NOTES:

- 1. NOTES RELATING TO SETBACK SHOWN HEREON ARE INTENDED TO SHOW APPLICABLE ZONING REQUIREMENTS OF THE VILLAGE OF PENN YAN AS OF THE DATE OF THIS MAP AND ARE NOT INTENDED TO IMPOSE ANY ADDITIONAL RESTRICTIONS OTHER THAN SAID ZONING REQUIREMENTS.
2. ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE VILLAGE OF PENN YAN AND THE APPROPRIATE AGENCIES UNLESS OTHERWISE NOTED.
...
22. A METER AND PRESSURE REDUCING VALVE SHALL BE INSTALLED ON THE DOMESTIC PORTION OF THE COMBINED SERVICE WITHIN THE BUILDING.

CONSTRUCTION EROSION CONTROL NOTES:

- 1. THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) CONSISTS OF BUT IS NOT LIMITED TO THE STORMWATER MANAGEMENT REPORT, THE PROJECT PLANS, INCLUDING THE GRADING PLAN, CONSTRUCTION EROSION CONTROL PLAN AND DETAIL SHEET, AND THE VILLAGE OF PENN YAN DESIGN AND CONSTRUCTION SPECIFICATIONS REGARDING STORMWATER CONTROL.
2. THE OWNER IS RESPONSIBLE FOR IMPLEMENTING THE REQUIRED SWPPP. THE OWNER'S CONTRACTOR, SUB-CONTRACTOR AND ALL OTHERS ASSOCIATED WITH THE IMPLEMENTATION OF THE PLAN SHALL BE FAMILIAR WITH THE PLAN AND THE CONDITIONS OF THE NYSDDC GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES.
...
18. UPON COMPLETION OF CONSTRUCTION AND FINAL STABILIZATION THE OWNER MAY FILE A NOTICE OF TERMINATION (NOT) WITH NYSDDC PER THE REQUIREMENTS OF THE GENERAL PERMIT GP-0-15-002.

Table with 3 columns: Plant Name, LBS/ACRE, LBS/1000 SQ. FT. Includes entries for ANNUAL RYEGRASS, PERENNIAL RYEGRASS, OATS, WHITE CLOVER (+ INOCULANT).

SEQUENCE OF CONSTRUCTION STEPS:

- STEP 1: (SITE PREPARATION)
- INSTALL AND MAINTAIN STABILIZED CONSTRUCTION ENTRANCE (SEE DETAIL) & STAGING AREA.
- CLEAR AND GRUB AS REQUIRED FOR PERIMETER SILT FENCE INSTALLATION.
...
STEP 3: (STABILIZATION & MONITORING)
- COMPLETE INSTALLATION OF UNDERGROUND UTILITIES AND ROAD BOX. RESTORE AND RE-SEED LAWN/LANDSCAPED AREAS AS NEEDED.
- MONITOR STORMWATER MANAGEMENT FACILITY, AND SEDIMENT CONTROL PRACTICES DURING CONSTRUCTION OPERATIONS FOR SILT ACCUMULATION. CONTRACTOR TO CLEAN AS NECESSARY.

GRADING NOTES:

- 1. THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD, AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENTS IN THE AREAS OF CONSTRUCTION.
2. EXISTING UNDERGROUND UTILITIES SHOWN HEREON WERE PLOTTED FROM FIELD LOCATIONS AND/OR UTILITY COMPANY RECORD PLANS. A MINIMUM OF 48 HOURS PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL CALL THE UPFO HOTLINE AT 1-800-962-7962 FOR STAKE-OUT OF EXISTING UTILITIES.
...
9. AREAS OUTSIDE OF BUILDINGS, DRIVEWAYS, ROADS, AND AREAS THAT REQUIRE COMPACTION ARE TO BE DEEP RIPPED IN CONFORMANCE WITH THE NYSDDC DESIGN MANUAL, DATED AUGUST 2015. THIS IS TO ENSURE POST-CONSTRUCTION SOIL CONDITIONS WILL PROVIDE INFILTRATION RATES EXPERIENCED UNDER PRE-CONSTRUCTION EXISTING CONDITIONS.

FOR VILLAGE USE ONLY.

NOT APPROVED

This plan has not received final approval of all reviewing agencies. This plan is subject to revisions until all approvals are obtained and should not be used for construction purposes.

Drawing Allocation
The following is an excerpt from the New York State Education Law Article 143 Section 7209 and applies to this drawing:
It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way if an item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall affix to the item his seal and the notation "altered by" followed by his signature and the date of such alteration, and a specific description of the alteration.

Table with 2 columns: REVISIONS, DATE. Includes a grid for tracking revisions.

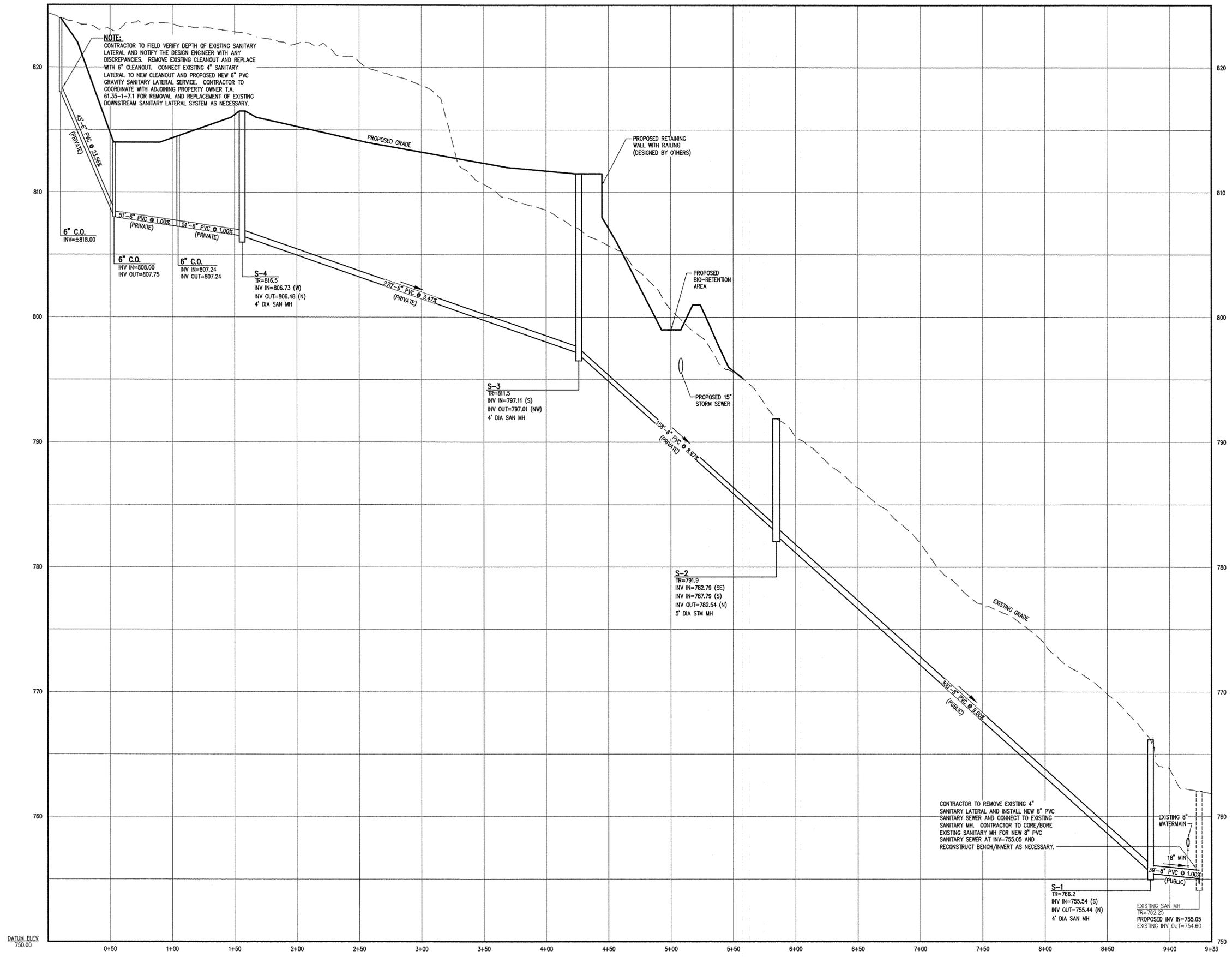
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PHONE: 585-377-7580
FAX: 585-377-7589
10 ULPT BRIDGE LANE EAST
ROCHESTER, NY 14604
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KEUKA GARDENS
VILLAGE OF PENN YAN, Yates County, New York State
KEUKA GARDENS, LLC
1000 W. WOODLAND AVE.
ROCHESTER, NEW YORK 14604
FINAL NOTE SHEET

PROJECT MANAGER: L. SWEDROCK
PROJECT ENGINEER: R. DESTRO
DRAWN BY: R. DESTRO
SCALE: 1"=40'
DATE ISSUED: SEPTEMBER 2016
PROJECT NO.: 2503
DRAWING NO.: 08

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NOTE:
 CONTRACTOR TO FIELD VERIFY DEPTH OF EXISTING SANITARY LATERAL AND NOTIFY THE DESIGN ENGINEER WITH ANY DISCREPANCIES. REMOVE EXISTING CLEANOUT AND REPLACE WITH 6" CLEANOUT. CONNECT EXISTING 4" SANITARY LATERAL TO NEW CLEANOUT AND PROPOSED NEW 6" PVC GRAVITY SANITARY LATERAL SERVICE. CONTRACTOR TO COORDINATE WITH ADJOINING PROPERTY OWNER T.A. 61.35-1-7.1 FOR REMOVAL AND REPLACEMENT OF EXISTING DOWNSTREAM SANITARY LATERAL SYSTEM AS NECESSARY.

CONTRACTOR TO REMOVE EXISTING 4" SANITARY LATERAL AND INSTALL NEW 8" PVC SANITARY SEWER AND CONNECT TO EXISTING SANITARY MH. CONTRACTOR TO CORE/BORE EXISTING SANITARY MH FOR NEW 8" PVC SANITARY SEWER AT INV=755.05 AND RECONSTRUCT BENCH/INVERT AS NECESSARY.

FOR VILLAGE USE ONLY

SANITARY SEWER PROFILE

SCALE: HOR: 1"=40'
 VER: 1"=4'

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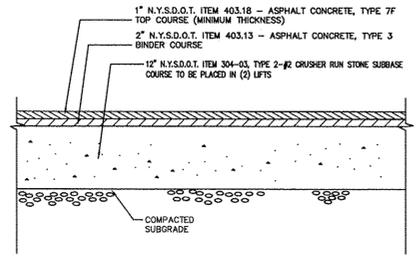
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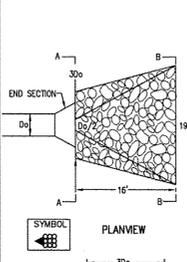
KEUKA GARDENS
 VILLAGE OF PENN YAN, YATES COUNTY, NEW YORK STATE
 KEUKA GARDENS, L.L.C.
 NEW YORK SQUARE
 ROCHESTER, NEW YORK 14604
FINAL PROFILE SHEET

PROJECT MANAGER
 L. SWEDROCK
PROJECT ENGINEER
 R. DESTRO
DRAWN BY
 R. DESTRO
SCALE 1"=40'
DATE ISSUED SEPTEMBER 2016
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DRAWING NO. 09

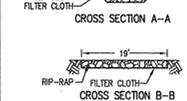
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TYPICAL PAVEMENT SECTION
N.T.S.

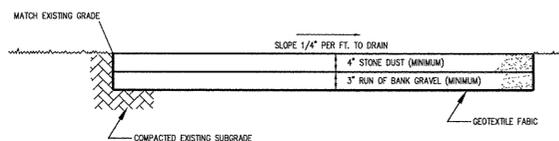


RIP-RAP FILTER CLOTH
CROSS SECTION A-A

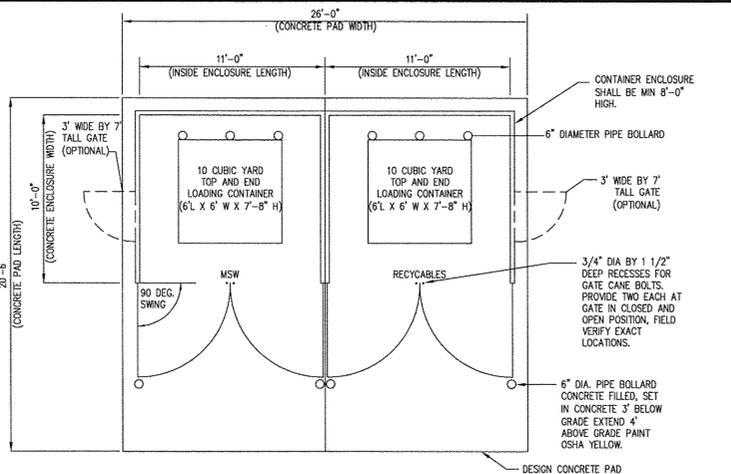


RIP-RAP FILTER CLOTH
CROSS SECTION B-B

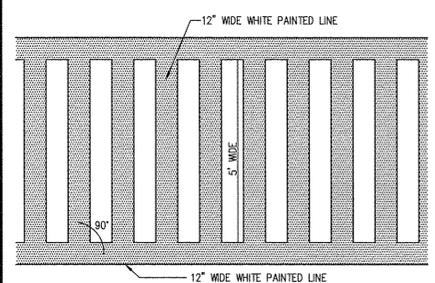
RIP-RAP OUTLET PROTECTION DETAIL
(N.T.S.)



5' WIDE STONE DUST TRAIL DETAIL
N.T.S.



TIMBER DUMPSTER ENCLOSURE PLAN
N.T.S.



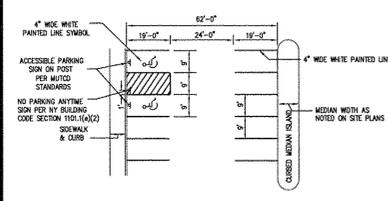
CROSSWALK STRIPING DETAIL
N.T.S.



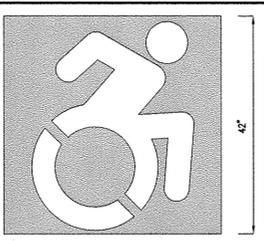
RESERVED PARKING

- *NOTES***
- SIGN TO BE MOUNTED TO A 2" DIA. STEEL PIPE SET IN 3" DEEP BY 10" DIA. CONCRETE, 3000 P.S.I. BASE, SET BELOW GRADE.
 - SIGN TO BE MOUNTED 6.0' FROM FINISHED GRADE TO BOTTOM OF SIGN.

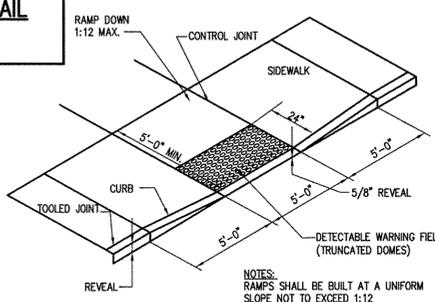
ACCESSIBLE PARKING SIGN DETAIL
N.T.S.



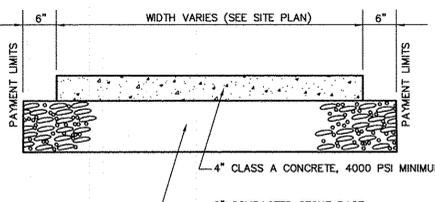
PARKING STRIPING DETAIL
N.T.S.



ACCESSIBLE PARKING SYMBOL DETAIL
N.T.S.



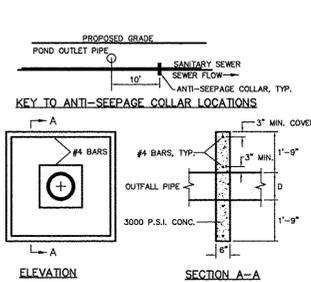
CURB WITH RAMP
NTS



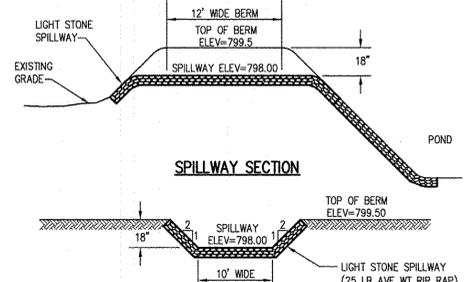
TYPICAL CONCRETE SIDEWALK
N.T.S.

- NOTES:**
- BROOM FINISH REQUIRED ON ALL SIDEWALKS.
 - ALL CONCRETE EDGES SHALL BE TOOLED SMOOTH.
 - PRIVATE WALKS SHALL BE REPLACED AS NECESSARY WITH LIKE MATERIAL, THICKNESS AND WIDTH TO MATCH EXISTING WALKS IN THE LOCATIONS SHOWN ON THE PLANS OR AS ORDERED BY ENGINEER.
 - EXPANSION JOINTS PLACED PERPENDICULAR TO SIDEWALK EVERY 25'. PROVIDE CONSTRUCTION JOINTS AT MAXIMUM 10' CENTERS, TO A DEPTH OF ONE-FOURTH OF THE CONCRETE THICKNESS.
 - EXPANSION JOINT MATERIAL SHALL CONFORM TO THE NYS DOT STANDARD SPECIFICATIONS FOR FRESH MOULDED BITUMINOUS JOINT FILLER, SECTION 705-07.
 - PROVIDE 3/4" FRESH MOULDED BITUMINOUS JOINT FILLER, FULL DEPTH, AT ANY POINT WHERE 1/2" HOUR OR MORE OCCURS BETWEEN ADJACENT CONCRETE POURS.

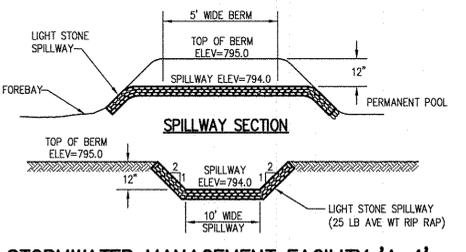
TYPICAL CONCRETE SIDEWALK
N.T.S.



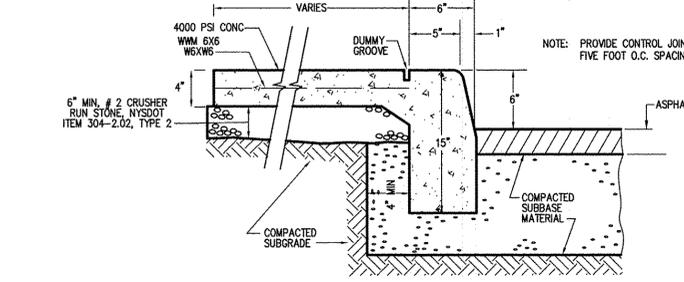
TYPICAL ANTI-SEEPAGE COLLAR
N.T.S.



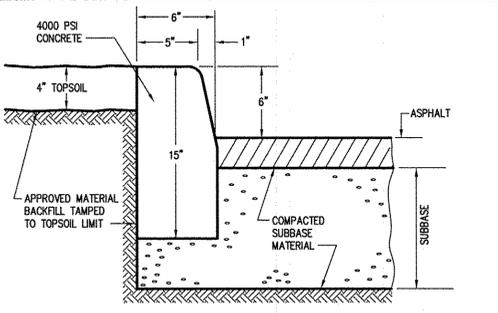
STORMWATER MANAGEMENT FACILITY 'A-1' EMERGENCY STONE SPILLWAY DETAIL
N.T.S.



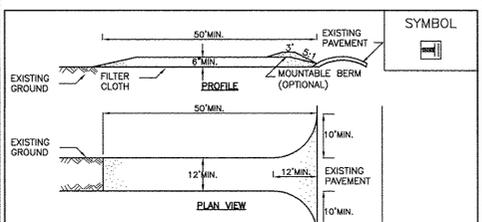
STORMWATER MANAGEMENT FACILITY 'A-1' FOREBAY TO PERMANENT POOL SPILLWAY DETAIL
N.T.S.



INTEGRAL CURB & SIDEWALK DETAIL
N.T.S.



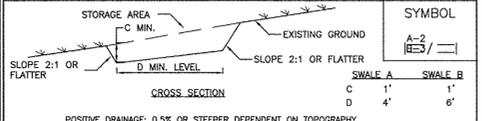
CONCRETE CURB SECTION
N.T.S.



CONSTRUCTION SPECIFICATIONS

- STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
- THICKNESS - NOT LESS THAN SIX (6) INCHES.
- WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
- FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN EVENT.

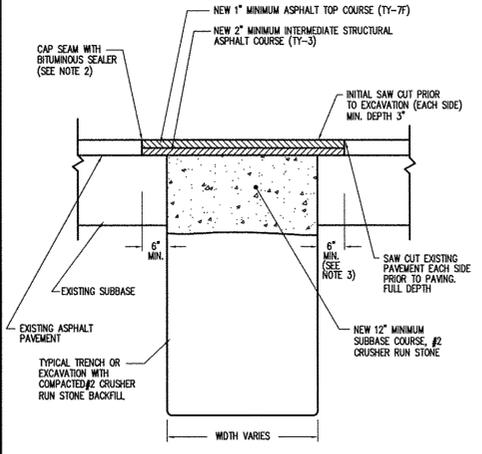
STABILIZED CONSTRUCTION ENTRANCE
U.S. DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE, NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION, NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE.



CONSTRUCTION SPECIFICATIONS

- ALL TEMPORARY SWALES SHALL HAVE UNINTERRUPTED POSITIVE GRADE TO AN OUTLET.
 - DIVERTED RUNOFF FROM A DISTURBED AREA SHALL BE CONVEYED TO A SEDIMENT TRAPPING DEVICE.
 - DIVERTED RUNOFF FROM AN UNDISTURBED AREA SHALL OUTLET DIRECTLY INTO AN UNDISTURBED STABILIZED AREA AT NON-EROSIVE VELOCITY.
 - ALL TREES, BRUSH, STUMPS, OBSTRUCTIONS, AND OTHER OBJECTIONABLE MATERIAL SHALL BE REMOVED AND DISPOSED OF SO AS NOT TO INTERFERE WITH THE PROPER FUNCTIONING OF THE SWALE.
 - FILLS SHALL BE COMPACTED BY EARTH MOVING EQUIPMENT.
 - ALL EARTH REMOVED AND NOT NEEDED FOR CONSTRUCTION SHALL BE PLACED SO THAT IT WILL NOT INTERFERE WITH THE FUNCTIONING OF THE SWALE.
 - STABILIZATION SHALL BE AS PER THE FLOW CHANNEL STABILIZATION CHART BELOW:
- | TYPE OF CHANNEL | GRADE | (% SLOPE OR LESS) | (% SLOPE - 10%) |
|-----------------|----------|----------------------------------|---|
| 1 | 0.5-3.0% | SEED AND STRAW MULCH | SEED AND STRAW MULCH |
| 2 | 3.1-5.0% | SEED AND STRAW MULCH | SEED USING JUTE OR EXCELSDOR |
| 3 | 5.1-8.0% | SEED WITH JUTE OR EXCELSDOR, 500 | LINED WITH 4-8" RIP-RAP OR RECYCLED CONCRETE EQUIVALENT |
| 4 | 8.1-20% | LINED WITH 4-8" RIP-RAP | ENGINEERED DESIGN |
- PERIODIC INSPECTION AND REQUIRED MAINTENANCE MUST BE PROVIDED AFTER EACH RAIN EVENT.

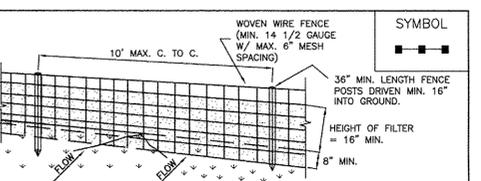
TEMPORARY SWALE
U.S. DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE, NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION, NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE.



PAVEMENT RESTORATION - TRENCH DETAIL
N.T.S.

- NOTES:**
- EXISTING PAVEMENT SHALL BE SAW CUT TO OBTAIN A STRAIGHT AND NEAT EDGE FOR PAVING. FINAL SAW CUT SHALL BE MADE PRIOR TO PAVING AFTER BACKFILL OF TRENCH TO BOTTOM OF NEW PAVEMENT.
 - ALL SEAMS BETWEEN EXISTING AND NEW ASPHALT SURFACES SHALL BE SEALED WITH AN ASPHALT FILLER CORRESPONDING TO THE MATERIAL REQUIREMENTS OF N.Y.S.D.O.T. TABLE 702-5 MATERIAL DESIGNATION 702-3401. COST TO FURNISH AND APPLY THIS MATERIAL SHALL BE INCLUDED IN THE PRICE BID FOR ASPHALT TOP.
 - 6" MIN. TO BE FROM EDGE OF UNDISTURBED EARTH.

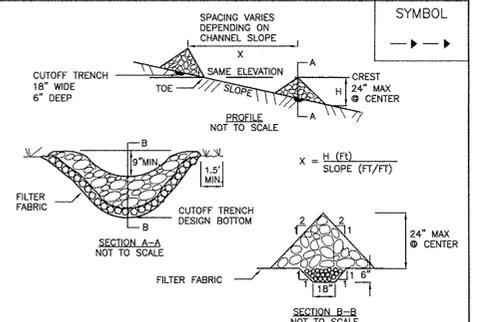
PAVEMENT RESTORATION - TRENCH DETAIL
N.T.S.



CONSTRUCTION SPECIFICATIONS

- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "1" OR "1 1/2" TYPE OR HARDWOOD.
- FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH 1/2" SPACING EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 12 1/2 GAUGE, 6" MAXIMUM MESH OPENING.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA 1140N, OR APPROVED EQUIVALENT.
- PREFABRICATED UNITS SHALL BE GEOTAF, ENVIRONMENTAL, OR APPROVED EQUIVALENT.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

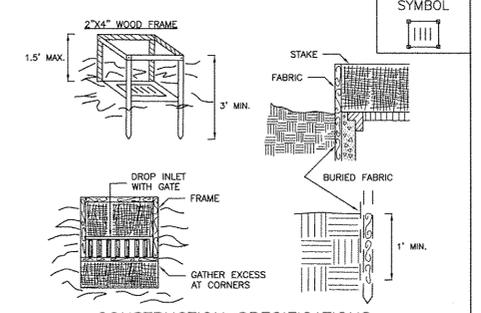
SILT FENCE
U.S. DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE, NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION, NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE.



CONSTRUCTION SPECIFICATIONS

- STONE WILL BE PLACED ON A FILTER FABRIC FOUNDATION TO THE LINES, GRADES AND LOCATIONS SHOWN IN THE PLAN.
- SET SPACING OF CHECK DAMS TO ASSUME THAT THE ELEVATIONS OF THE CREST OF THE DOWNSTREAM DAM IS AT THE SAME ELEVATION OF THE TOE OF THE UPSTREAM DAM.
- EXTEND THE STONE A MINIMUM OF 1.5 FEET BEYOND THE DITCH BANKS TO PREVENT CUTTING AROUND THE DAM.
- PROTECT THE CHANNEL DOWNSTREAM OF THE LOWEST CHECK DAM FROM SCOUR AND EROSION WITH STONE OR LINER AS APPROPRIATE.
- ENSURE THAT CHANNEL APPURTENANCES SUCH AS CULVERT ENTRANCES BELOW CHECK DAMS ARE NOT SUBJECT TO DAMAGE OR BLOCKAGE FROM DISPLACED STONE. MAXIMUM DRAINAGE AREA 2 ACRES.

CHECK DAM
U.S. DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE, NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION, NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE.



CONSTRUCTION SPECIFICATIONS

- FILTER FABRIC SHALL HAVE AN EOS OF 40-85. BURLAP MAY BE USED FOR SHORT TERM APPLICATIONS.
- CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
- STAKE MATERIALS WILL BE STANDARD 2" x 4" WOOD OR EQUIVALENT. METAL WITH A MINIMUM LENGTH OF 3 FEET.
- SPACE STAKES EVENLY AROUND INLET 3 FEET APART AND DRIVE A MINIMUM 18 INCHES DEEP. SPACES GREATER THAN 3 FEET MAY BE BRIDGED WITH THE USE OF WIRE MESH BEHIND THE FILTER FABRIC FOR SUPPORT.
- FABRIC SHALL BE EMBEDDED 1 FOOT MINIMUM BELOW GROUND AND BACKFILLED. IT SHALL BE SECURELY FASTENED TO THE STAKES AND FRAME.
- A 2" x 4" WOOD FRAME SHALL BE COMPLETED AROUND THE CREST OF THE FABRIC FOR OVER FLOW STABILITY. MAXIMUM DRAINAGE AREA 1 ACRE.

FILTER FABRIC DROP INLET PROTECTION
U.S. DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE, NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION, NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE.

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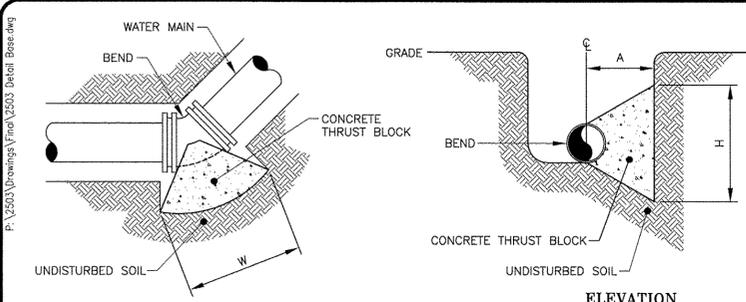
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ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS
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FAX: 335-3771-389
101 PUTT BRIDGE LANE EAST
WESTBURY, NEW YORK 11590
WWW.BMECORP.COM



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VILLAGE OF PEEN YAN, YATES COUNTY, NEW YORK STATE
KEUKA GARDENS, LLC
ROCHESTER, NEW YORK 14604

FINAL DETAIL SHEET
PROJECT: LOCATION: CLIENT: DRAWING TITLE:

PROJECT MANAGER: L. SWEDROCK
PROJECT ENGINEER: R. DESTRO
DRAWN BY: R. DESTRO
SCALE: DATE ISSUED: N.T.S. SEPTEMBER 2016
PROJECT NO.: DRAWING NO.: 2503
SHEET 1 OF 3



HORIZONTAL THRUST BLOCK FOR BENDS
N.T.S.

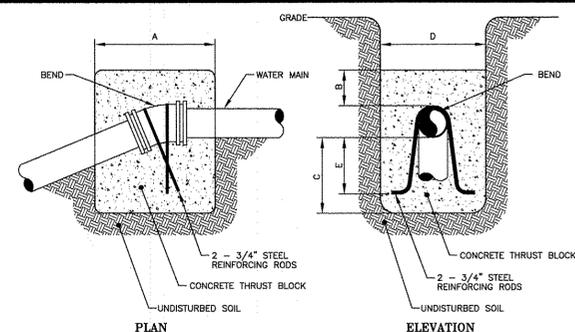
MINIMUM HORIZONTAL THRUST BLOCK DIMENSIONS, IN FEET, TO BE POURED AGAINST UNDISTURBED SOIL

FITTING	H	W	A
6" x 11-1/4" BEND	1.0	1.0	1.5
6" x 22-1/2" BEND	1.0	1.5	1.5
6" x 45" BEND	1.5	2.0	1.5
6" x 90" BEND	2.0	2.5	1.5
6" TEE OR PLUG	1.5	2.5	1.0

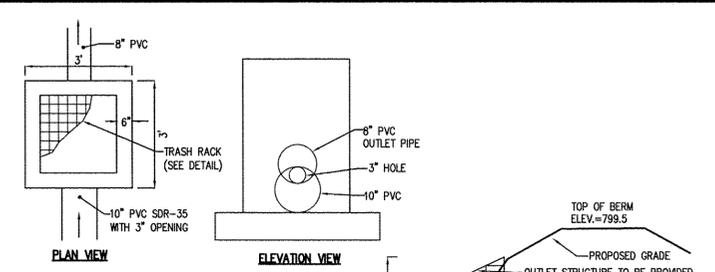
NOTE: WIDTH (W) OF BLOCK SHALL NOT EXCEED TWICE THE HEIGHT (H).
* COMPLETE ONLY THOSE DIMENSIONS FOR EACH TYPE OF FITTINGS THAT WILL ACTUALLY BE INSTALLED.

BEND #	MINIMUM VOLUME OF CONCRETE DIMENSIONS	MINIMUM ALLOWABLE DIMENSIONS FOR VERTICAL THRUST BLOCKS (IN FEET)				
		A	B	C	D	E
6" x 11-1/4"	1.00 CY	3.0	1.0	1.3	3.0	1.0
6" x 22-1/2"	1.50 CY	4.0	1.0	1.8	3.0	1.5
6" x 45"	2.50 CY	6.0	1.5	2.0	3.0	1.7

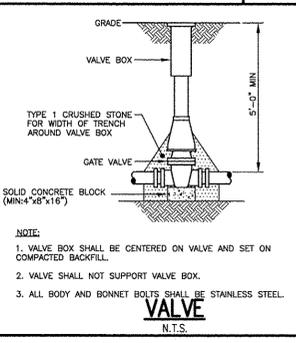
* COMPLETE ONLY THOSE DIMENSIONS FOR EACH TYPE OF FITTINGS THAT WILL ACTUALLY BE INSTALLED.



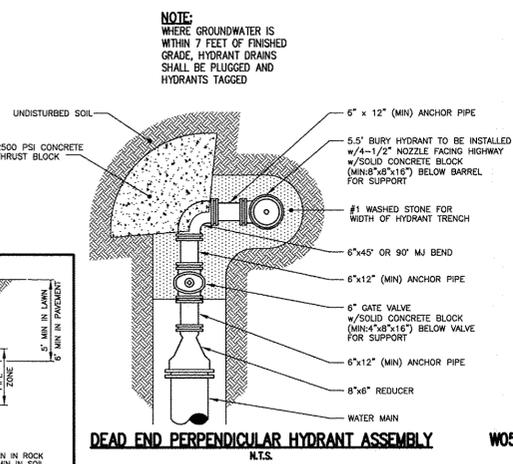
VERTICAL THRUST BLOCK
N.T.S.



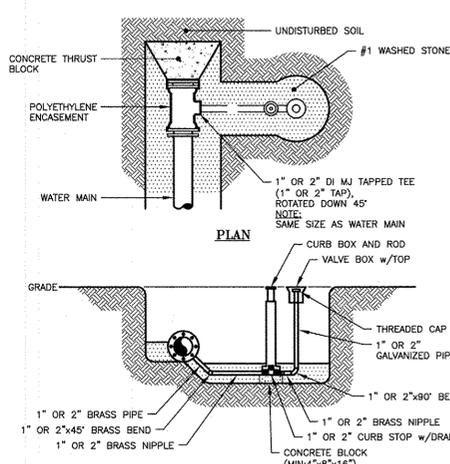
STORM WATER MANAGEMENT FACILITY 'A-1' OUTLET STRUCTURE DETAIL
N.T.S.



VALVE
N.T.S.



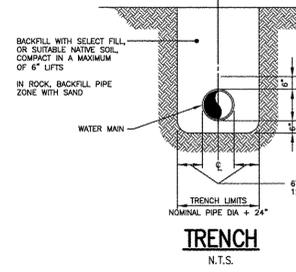
DEAD END PERPENDICULAR HYDRANT ASSEMBLY
N.T.S.



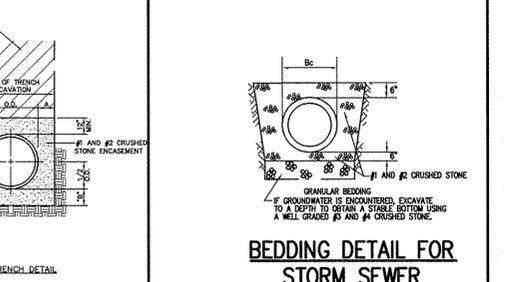
TAPPED TEE w/ 1\"/>

CONDITION	SCHEMATIC	REQUIREMENTS
I WATER LINE ABOVE SEWER LINE		A) WATER LINE AND SEWER LINE PIPE LENGTHS TO BE CENTERED AT CROSSING. EACH LENGTH OF PIPE TO BE 10 FT. MINIMUM. B) BACKFILL WITH COMPACTED CRUSHER RUN STONE.
II WATER LINE ABOVE SEWER LINE		A) WATER LINE AND SEWER LINE PIPE LENGTHS TO BE CENTERED AT CROSSING. EACH LENGTH OF PIPE TO BE 10 FT. MINIMUM. B) WHEN BOTH WATER LINE AND SEWER LINE ARE NEW, SLEEVE SEWER LINE WITH STEEL CASING FOR 10 FT. EACH SIDE OF CROSSING. WHEN ONE LINE IS EXISTING, SLEEVE PIPE BEING INSTALLED WITH STEEL CASING FOR 10 FT. EACH SIDE OF CROSSING. C) BACKFILL WITH COMPACTED CRUSHER RUN STONE.
III SEWER LINE ABOVE WATER LINE		A) WATER LINE AND SEWER LINE PIPE LENGTHS TO BE CENTERED AT CROSSING. EACH LENGTH OF PIPE TO BE 10 FT. MINIMUM. B) SLEEVE SEWER LINE WITH STEEL CASING FOR 10 FT. EACH SIDE OF CROSSING. C) PROVIDE GRADE OF CONCRETE OR CRUSHER RUN STONE (SEE TRENCH DETAIL BELOW) FOR WATER LINE AND SEWER LINE FOR 10 FT. EACH SIDE OF CROSSING.

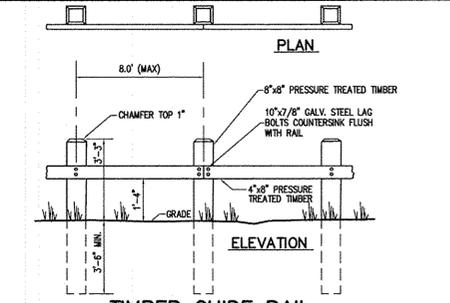
WATERMAIN/SEWER CROSSING DETAIL
N.T.S.



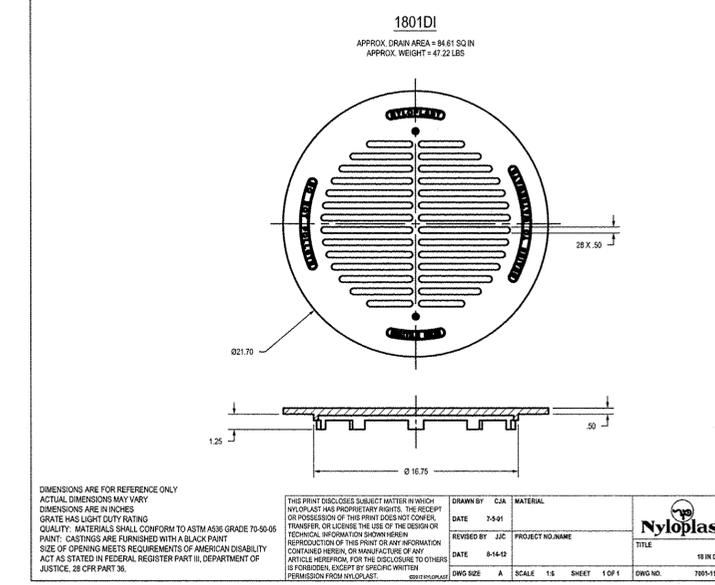
TRENCH
N.T.S.



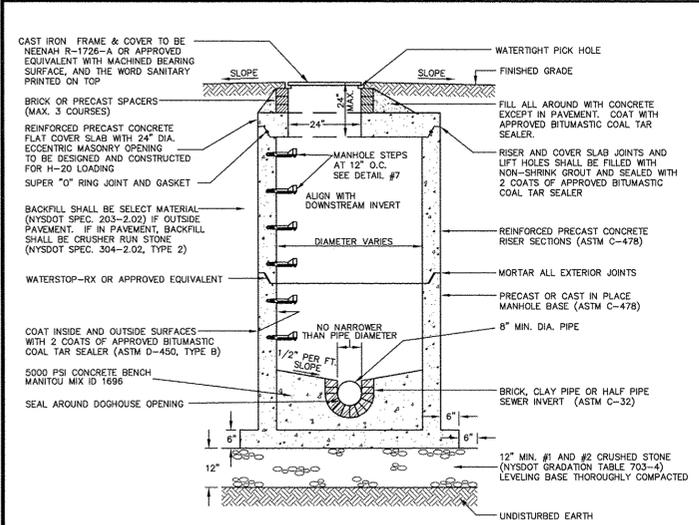
BEDDING DETAIL FOR STORM SEWER
N.T.S.



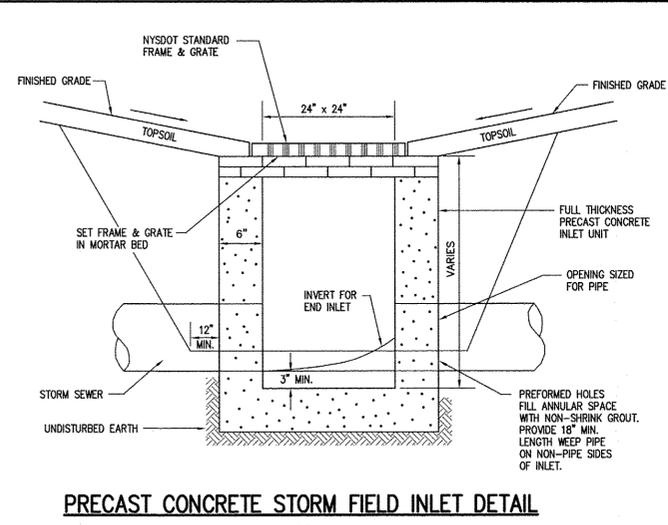
TIMBER GUIDE RAIL
N.T.S.



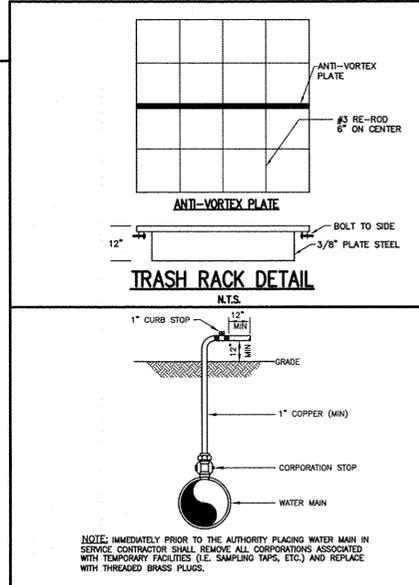
NYLOPLAST 18\"/>



SANITARY SEWER MANHOLE
N.T.S.



PRECAST CONCRETE STORM FIELD INLET DETAIL
N.T.S.



DISINFECTION/BLOW-OFF/SAMPLING TAP
N.T.S.

Drawing Alteration
The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing:
It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way, if an item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall affix to the item his seal and the notation "altered by" followed by his signature and the date of such alteration, and a specific description of the alteration.

NO.	REVISIONS	DATE	BY
7			
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1	REVISED PER NYSOEH COMMENTS	6/3/16	RTD

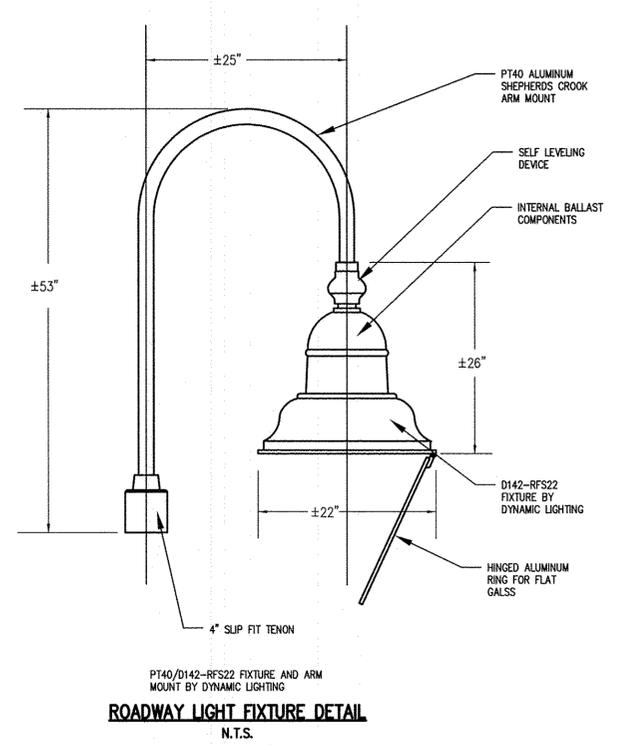
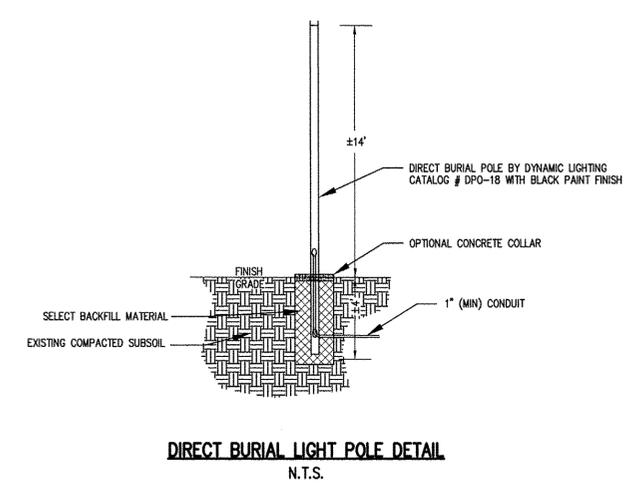
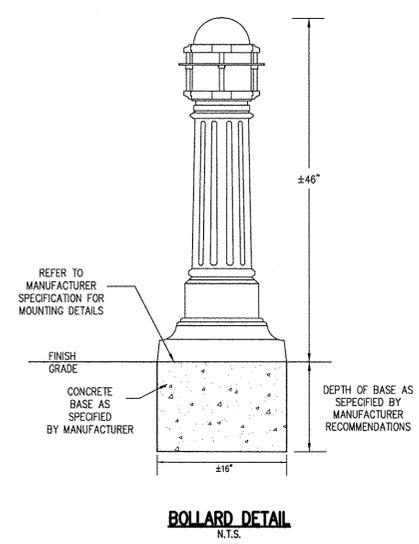
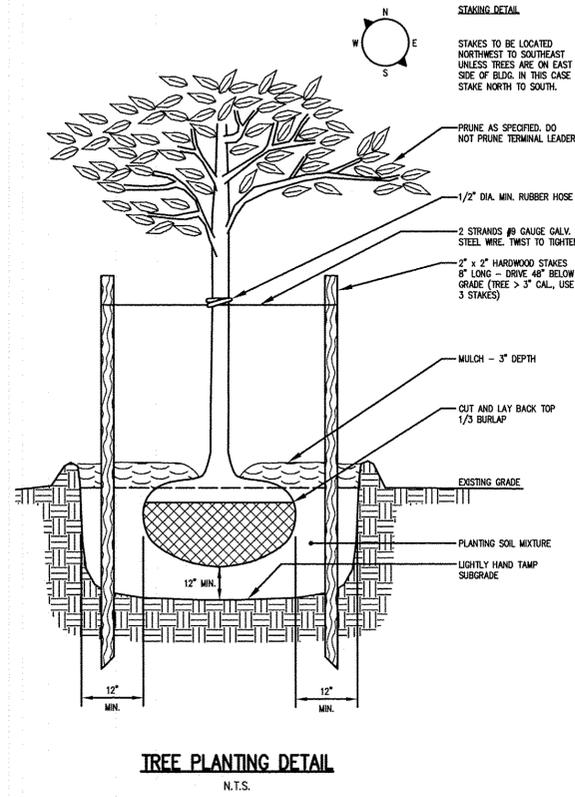
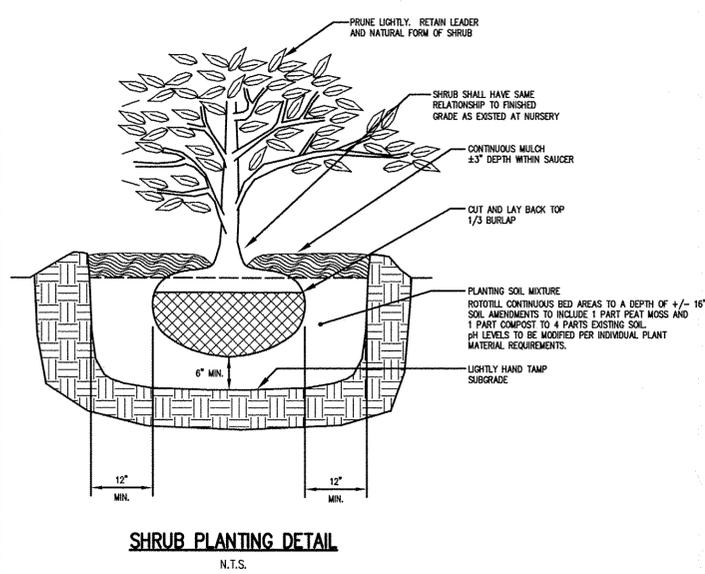
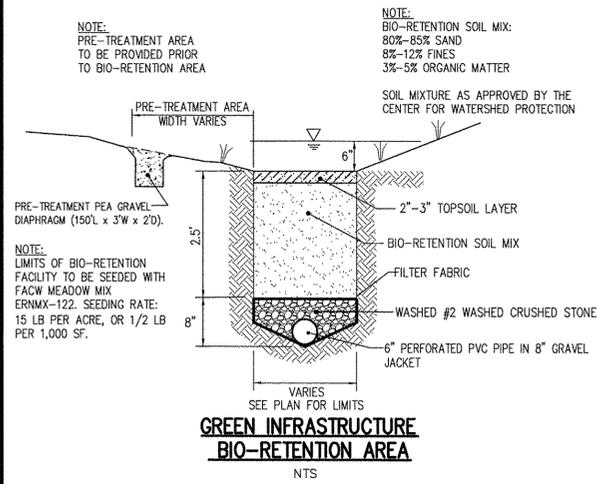
BME ASSOCIATES
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10 LIFT BRIDGE LANE EAST
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KEUKA GARDENS
VILLAGE OF PEEN YAN, Yates County, New York State
KEUKA GARDENS, LLC
100 MAIN STREET
ROCHESTER, NEW YORK 14604

PROJECT LOCATION CLIENT DRAWING TITLE
FINAL DETAIL SHEET

PROJECT MANAGER: L. SWEDROCK
PROJECT ENGINEER: R. DESTRO
DRAWN BY: R. DESTRO
SCALE: N.T.S.
DATE ISSUED: SEPTEMBER 2016
PROJECT NO.: 2503
DRAWING NO.: 11
SHEET 2 OF 3



Drawing Alteration
The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing:
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NO.	REVISIONS	DATE	BY
7			
6			
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1			

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KEUKA GARDENS
VILLAGE OF PEEN YAN, WALES COUNTY, NEW YORK STATE

PROJECT LOCATION CLIENT DRAWING TITLE

KEUKA GARDENS, LLC
100 NEW YORK STATE ROUTE 14694
ROCHESTER, NEW YORK 14694

FINAL DETAIL SHEET

PROJECT MANAGER: L. SWEDROCK
PROJECT ENGINEER: R. DESTRO
DRAWN BY: R. DESTRO
SCALE: N.T.S. DATE ISSUED: SEPTEMBER 2016
PROJECT NO.: 2503
DRAWING NO.: 12
SHEET 3 OF 3