

Site Plan Drawings For

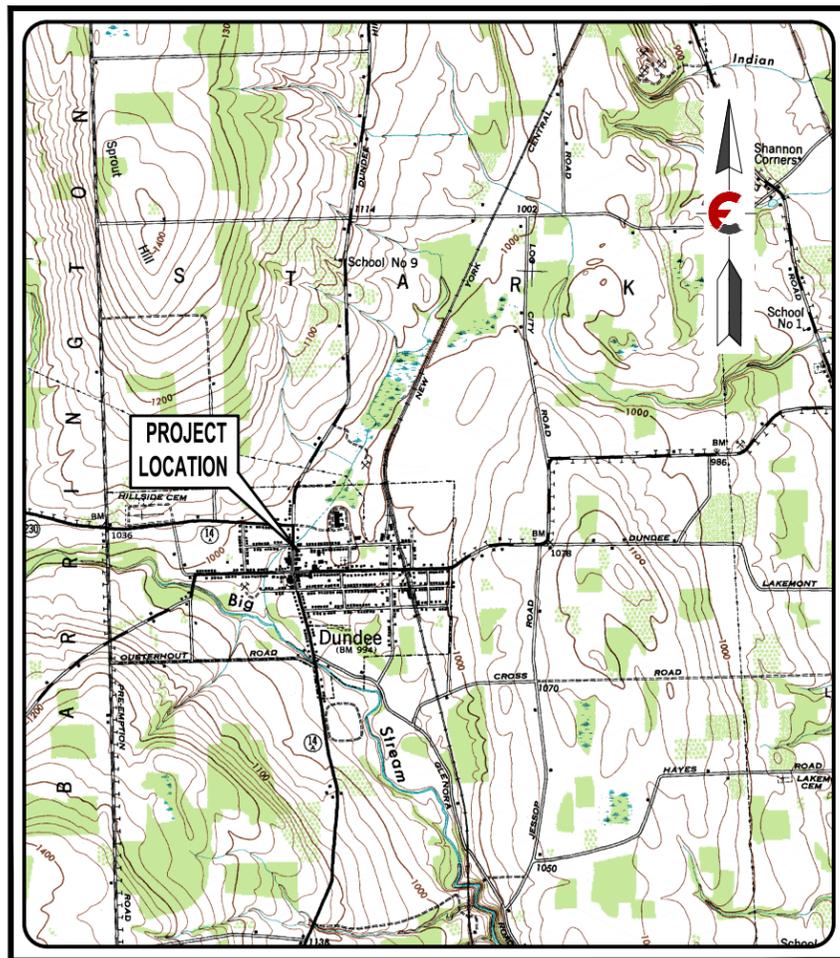
WILLIAMS OIL & PROPANE DANDY MINI MART FUEL CANOPY EXPANSION

VILLAGE OF DUNDEE, COUNTY OF YATES, N.Y.

April 10, 2012
LAST REVISED : MARCH 17, 2016

PREPARED FOR:
Williams Oil & Propane, Inc.
Mr. Duane Phillips
44 Reuter Boulevard
Towanda, PA. 18848

PROJECT LOCATION:
45 Water St. / St. Route 14A
113.81-1-20
53 Water St. / St. Route 14A
113.81-1-3



LOCATION MAP

INDEX OF DRAWINGS	
NO.	TITLE
C1	EXISTING CONDITIONS
C2	SITE PLAN
C3	GRADING & UTILITY PLAN
C4	DETAILS

Rev.	Date	Revision Description
3.	03-17-16	Revised Per Applicant and Village
2.	06-24-15	Revised Per Meeting with Applicant
1.	09-27-13	Revised Per Owners Comments

It is a Violation of The New York Education Law, Article 145 Section 7209, For Any Person, Unless He is Acting Under The Direction Of A Licensed Professional Engineer Or Land Surveyor To Alter An Item in Any Way, If An Item Bearing The Seal Of An Engineer Or Land Surveyor is Altered, The Altering Engineer Or Land Surveyor Shall Affix To The Item His Seal And The Notation "Altered By" Followed By His Signature And The Date Of Such Alteration, And A Specific Description Of The Alteration.



**WILLIAMS OIL & PROPANE
DANDY MINI MART
FUEL CANOPY EXPANSION**
VILLAGE OF DUNDEE, COUNTY OF YATES, N.Y.



Scale: As Noted
11x17 Prints are 1/2 Scale
Date: April 10, 2013
Design By: JBG, KMS, RSN
Drawn By: RSN
Checked By: JBG
Project No.: 2013.032
Drawing Name: 13032.dwg

TITLE
CO



LEGEND

---	PROPERTY LINE
---	EXISTING EASEMENT
---	EXISTING EDGE OF ROADWAY
---	EXISTING CURB LINE
---	EXISTING SANITARY SEWER
---	EXISTING GAS MAIN
---	EXISTING UTILITY LINE
---	EXISTING FENCE LINE
---	EXISTING WATER LINE
---	EXISTING CONTOUR LINE
---	PROPOSED CONTOUR LINE
---	PROPOSED EASEMENT
---	PROPOSED STORM SEWER
---	PROPOSED EDGE OF ROADWAY
---	PROPOSED CURB LINE
---	PROPOSED SANITARY SEWER
---	PROPOSED GAS LINE
---	PROPOSED UTILITY LINE
---	PROPOSED WATER LINE
---	PROPOSED SILT FENCE
---	EXISTING SANITARY MANHOLE
---	EXISTING FIRE HYDRANT
---	EXISTING CLEANOUT
---	EXISTING SPOT ELEVATION
---	PROPOSED SANITARY MANHOLE
---	PROPOSED WATER VALVE
---	PROPOSED THRUST BLOCK
---	PROPOSED FIRE HYDRANT
---	PROPOSED CLEANOUT
---	PROPOSED LIGHTING FIXTURE
---	PROPOSED SPOT ELEVATION
---	PROPOSED DRYWELL
---	PROPOSED CATCH BASIN

0 20 40

Note:
Utility information has been plotted from available sources and their locations and size should be considered approximate only. The contractor is responsible for determining exact utility locations, sizes, and elevations prior to commencing construction. If uncharted or misplotted utilities are encountered, the contractor is required to notify the owner immediately.

New York State law requires excavators to contact the one-call notification system prior to digging to prevent damage to buried facilities.

IT'S THE LAW!
Call three days before you dig!
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Dig Safely New York
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FAGAN ENGINEERS
30 YEARS
113 East Chemung Place
Elmira N.Y., 14904
Phone (607) 734-2165
Fax (607) 734-2169
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EXISTING CONDITIONS
C1



LEGEND

---	PROPERTY LINE
- - - -	EXISTING EASEMENT
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- - - - -	EXISTING CURB LINE
- - - - -	EXISTING SANITARY SEWER
- - - - -	EXISTING GAS MAIN
- - - - -	EXISTING UTILITY LINE
- - - - -	EXISTING FENCE LINE
- - - - -	EXISTING WATER LINE
- - - - -	EXISTING CONTOUR LINE
- - - - -	PROPOSED CONTOUR LINE
- - - - -	PROPOSED EASEMENT
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○	EXISTING SANITARY MANHOLE
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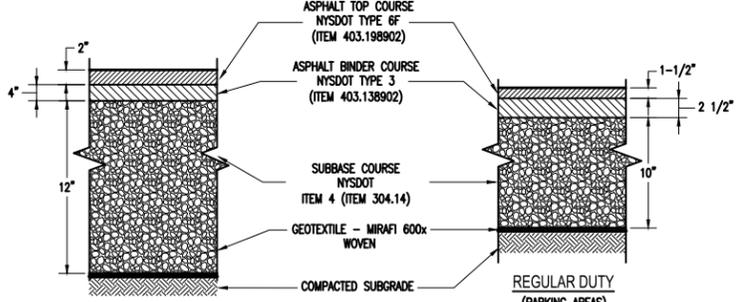
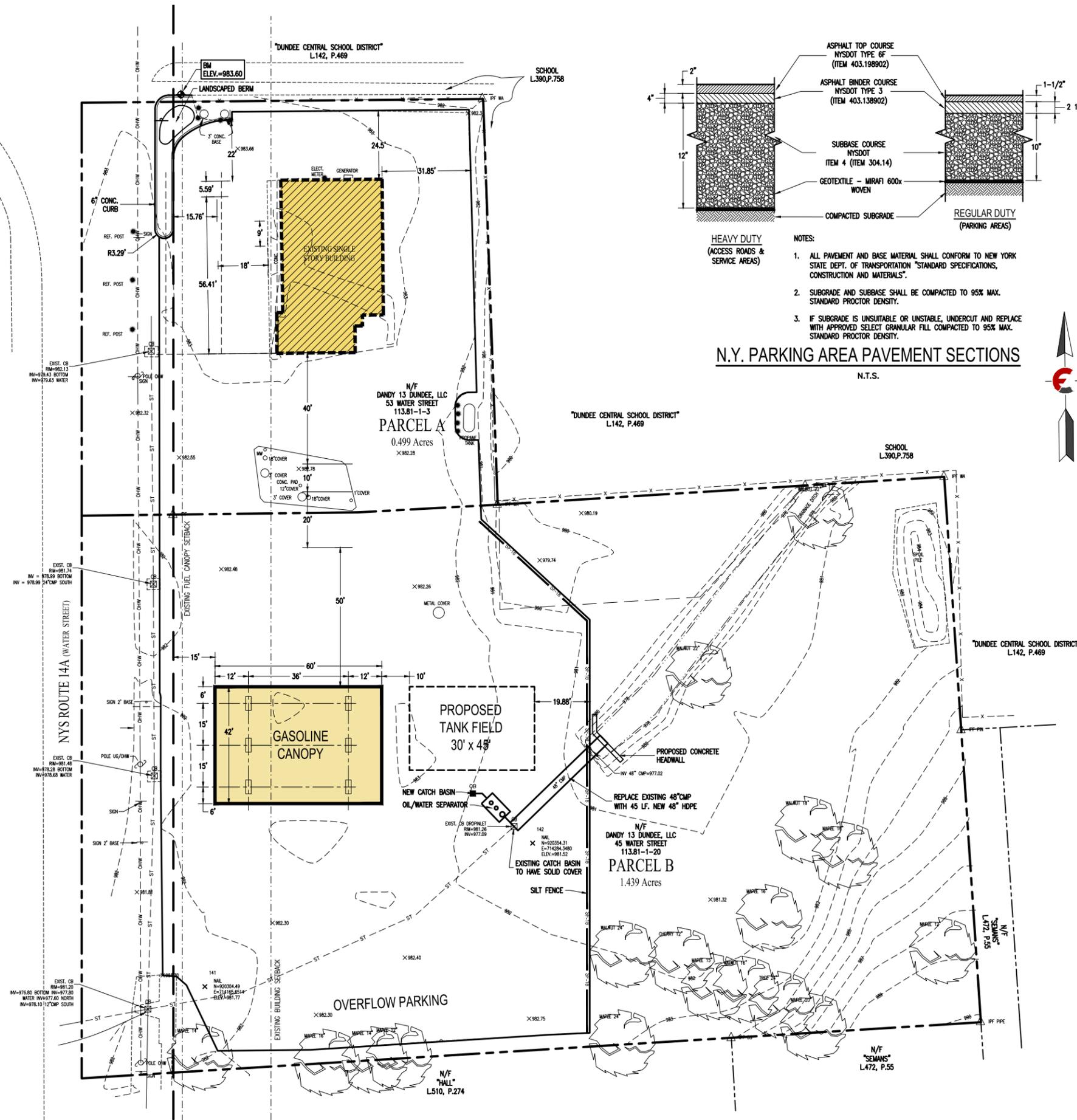
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SITE PLAN
C2

NYS ROUTE 14A
(MILLARD STREET)



- NOTES:
1. ALL PAVEMENT AND BASE MATERIAL SHALL CONFORM TO NEW YORK STATE DEPT. OF TRANSPORTATION "STANDARD SPECIFICATIONS, CONSTRUCTION AND MATERIALS".
 2. SUBGRADE AND SUBBASE SHALL BE COMPACTED TO 95% MAX. STANDARD PROCTOR DENSITY.
 3. IF SUBGRADE IS UNSUITABLE OR UNSTABLE, UNDERCUT AND REPLACE WITH APPROVED SELECT GRANULAR FILL COMPACTED TO 95% MAX. STANDARD PROCTOR DENSITY.

LEGEND

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- - - -	EXISTING EASEMENT
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GRADING & UTILITY PLAN
C3

