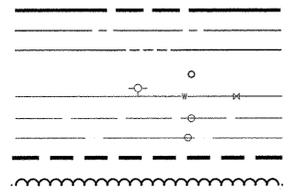
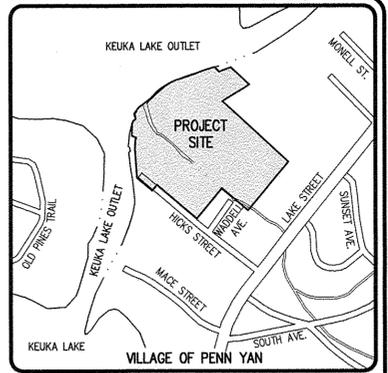
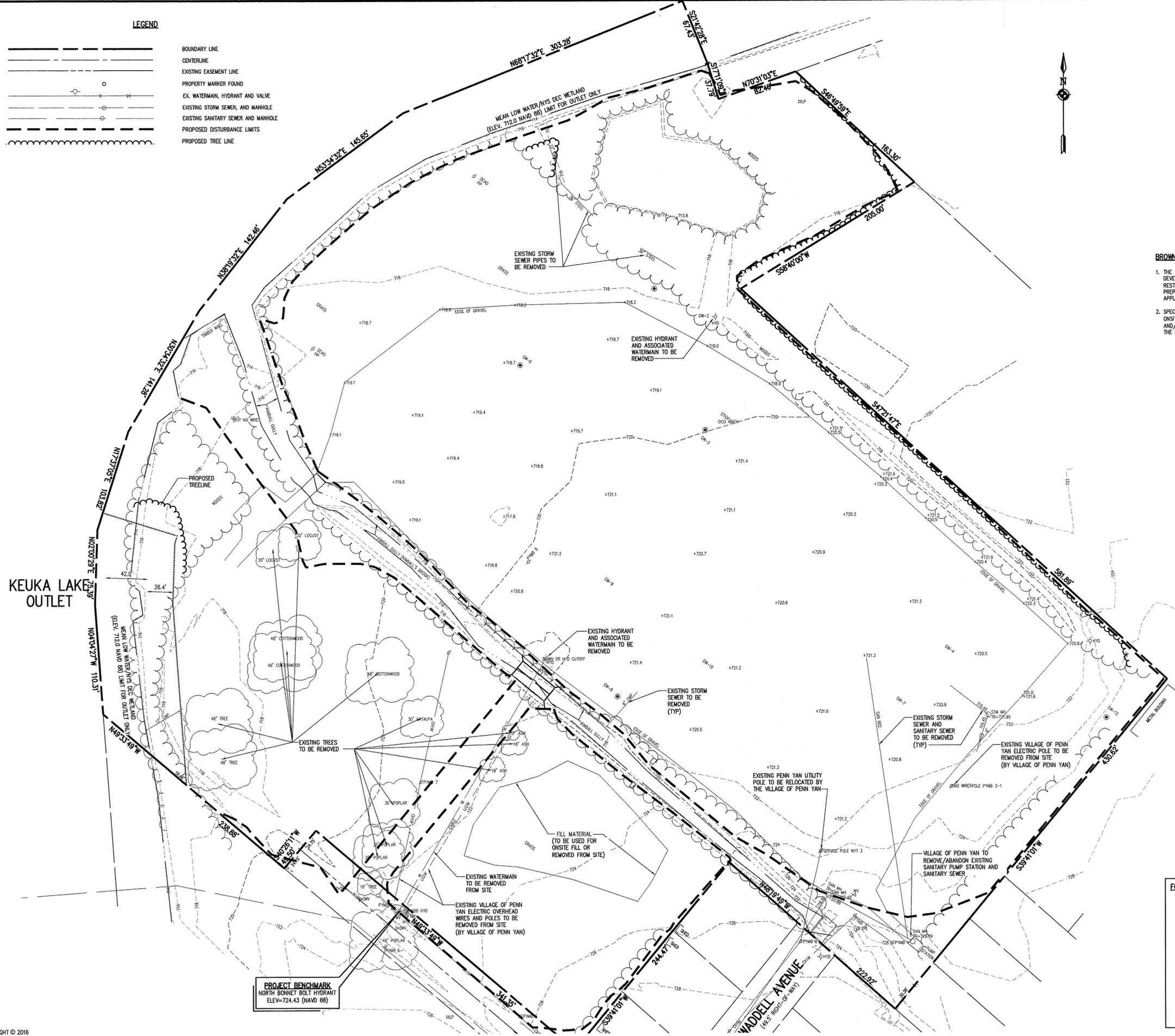


LEGEND



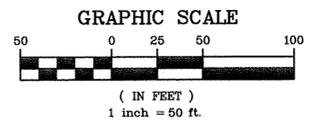
BOUNDARY LINE
CENTERLINE
EXISTING EASEMENT LINE
PROPERTY MARKER FOUND
EX. WATERMAIN, HYDRANT AND VALVE
EXISTING STORM SEWER AND MANHOLE
EXISTING SANITARY SEWER AND MANHOLE
PROPOSED DISTURBANCE LIMITS
PROPOSED TREE LINE



LOCATION MAP
NOT TO SCALE

BROWNFIELD CLEANUP NOTES:

- 1. THE SITE OWNER AND SITE CONTRACTOR SHALL BE FAMILIAR WITH THE RESTRICTIONS FOR DEVELOPMENT ON THE BROWNFIELD CLEANUP PORTION OF THE SITE TO INCLUDE ALL RESTRICTIONS AND REQUIREMENTS INCLUDED IN THE SITE MANAGEMENT PLAN (SMP) PREPARED BY LABELLA ASSOCIATES AND REGULATIONS OR REQUIREMENTS OF ANY OTHER APPLICABLE AGENCIES.
- 2. SPECIAL ATTENTION IS DIRECTED FOR THE DISPOSAL OF SITE CLEARING/GRUBBING DEBRIS, ONSITE DEMOLITION MATERIAL AND EXCESS/UNUSED EXCAVATION MATERIALS. USE AND/OR DISPOSAL OF SUCH SHALL CONFORM TO THE REQUIREMENTS INCLUDED WITHIN THE EXCAVATION WORK PLAN PREPARED BY LABELLA ASSOCIATES.



FOR VILLAGE USE ONLY

NO.	REVISIONS	DATE	BY
7			
6			
5			
4			
3			
2			
1			

BME ASSOCIATES
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS
10 LIFT BRIDGE LANE EAST
FAIRPORT, NEW YORK 14450
PHONE: 562-377-7360
FAX: 562-377-7309
WWW.BMEPCOM

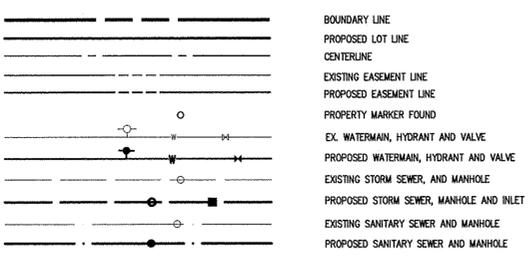


THE MOORINGS ON KEUKA
VILLAGE OF PENN YAN, Yates County, NEW YORK STATE
PROJECT LOCATION CLIENT
KEUKA OUTLET DEVELOPMENT, LLC
10 EDWARDS DRIVE
GORHAM, NEW YORK 14461
FINAL
EXISTING CONDITIONS/DEMO PLAN

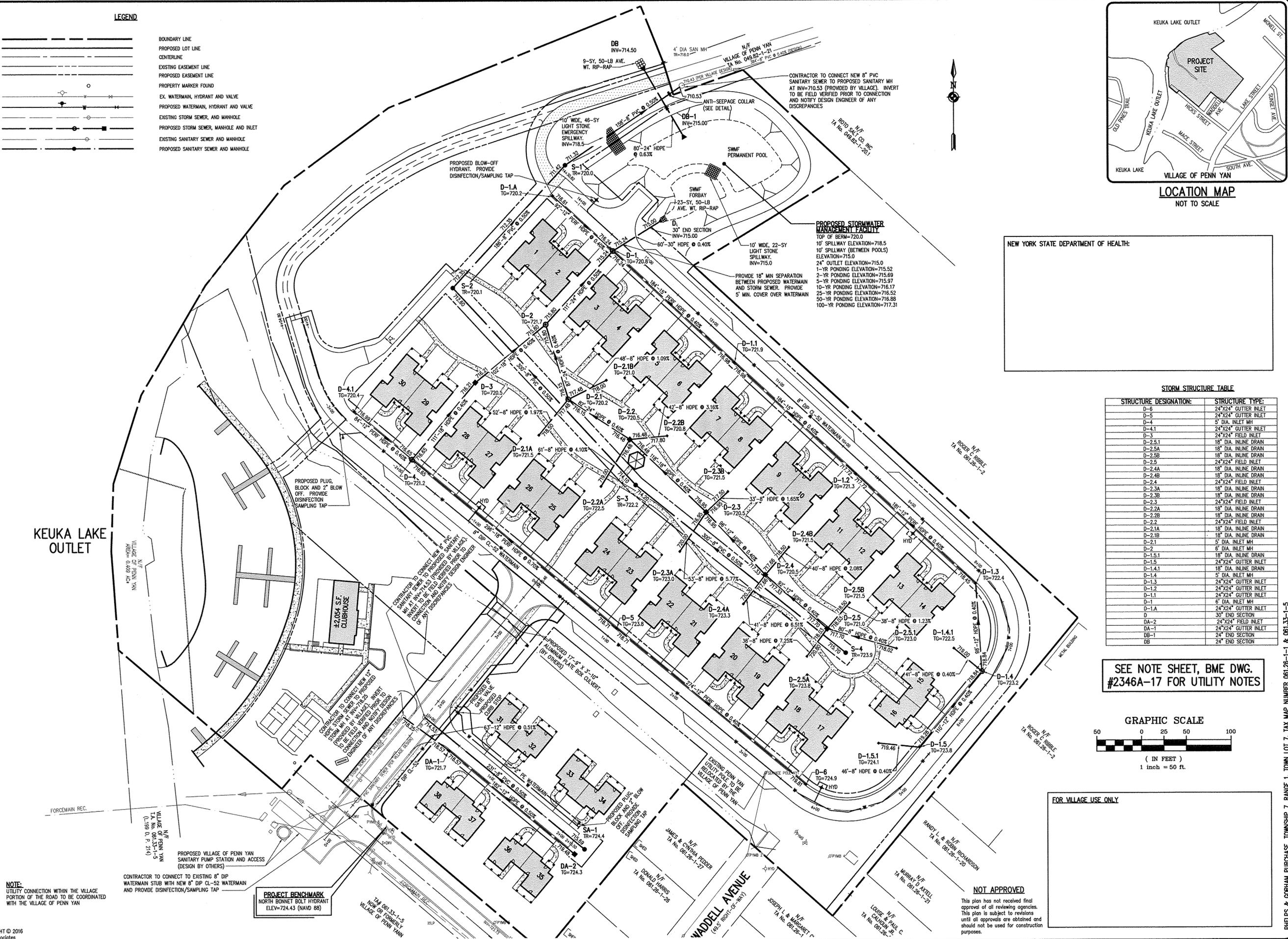
PROJECT MANAGER
P. VARS/M. JANDA
PROJECT ENGINEER
R. DESTRO
DRAWN BY
R. DESTRO
SCALE 1" = 50'
DATE ISSUED
FEBRUARY 2016
PROJECT NO.
23464
DRAWING NO.
09

P: 2346A Drawings Final 2/3/16 Design: BME.dwg

LEGEND



BOUNDARY LINE
PROPOSED LOT LINE
CENTERLINE
EXISTING EASEMENT LINE
PROPOSED EASEMENT LINE
PROPERTY MARKER FOUND
EX. WATERMAIN, HYDRANT AND VALVE
PROPOSED WATERMAIN, HYDRANT AND VALVE
EXISTING STORM SEWER, AND MANHOLE
PROPOSED STORM SEWER, MANHOLE AND INLET
EXISTING SANITARY SEWER AND MANHOLE
PROPOSED SANITARY SEWER AND MANHOLE



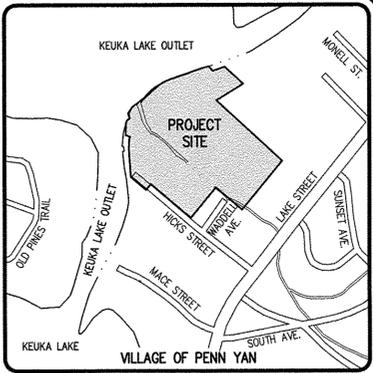
NOTE: UTILITY CONNECTION WITHIN THE VILLAGE PORTION OF THE ROAD TO BE COORDINATED WITH THE VILLAGE OF PENN YAN

CONTRACTOR TO CONNECT TO EXISTING 8" DIP WATERMAIN STUB WITH NEW 8" DIP CL-52 WATERMAIN AND PROVIDE DISINFECTION/SAMPLING TAP

PROJECT BENCHMARK NORTH BONNET BOLT HYDRANT ELEV=724.43 (NAVD 88)

NEW YORK STATE DEPARTMENT OF HEALTH:
CONTRACTOR TO CONNECT NEW 8" PVC SANITARY SEWER TO PROPOSED SANITARY MH AT INV=710.53 (PROVIDED BY VILLAGE). INVERT TO BE FIELD VERIFIED PRIOR TO CONNECTION AND NOTIFY DESIGN ENGINEER OF ANY DISCREPANCIES

PROPOSED STORMWATER MANAGEMENT FACILITY
TOP OF GEN=720.0
10' SPILLWAY ELEVATION=718.5
10' SPILLWAY (BETWEEN POOLS) ELEVATION=715.0
24" OUTLET ELEVATION=715.0
1-YR PONDING ELEVATION=715.52
2-YR PONDING ELEVATION=715.69
5-YR PONDING ELEVATION=715.97
10-YR PONDING ELEVATION=716.17
25-YR PONDING ELEVATION=716.52
50-YR PONDING ELEVATION=716.88
100-YR PONDING ELEVATION=717.31



Drawing Alteration
The following is an excerpt from the New York State Education Law Article 143 Section 7209 and applies to this drawing:
It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way. If an item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall affix to the item his seal and the notation "altered by" followed by his signature and the date of such alteration, and a specific description of the alteration.

Table with columns: REVISIONS, DATE, BY. Contains revision history.

BME ASSOCIATES
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS
10 LIFT BRIDGE LANE EAST
FAIRPORT, NEW YORK 14450
PHONE 585-3727580
FAX 585-3771389
WWW.BME.COM

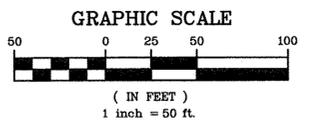


THE MOORINGS ON KEUKA
VILLAGE OF PENN YAN, YATES COUNTY, NEW YORK STATE
KEUKA OUTLET DEVELOPMENT, LLC.
PO BOX 214
GORHAM, NEW YORK 14461
FINAL
UTILITY PLAN

PROJECT: THE MOORINGS ON KEUKA
LOCATION: VILLAGE OF PENN YAN, YATES COUNTY, NEW YORK STATE
CLIENT: KEUKA OUTLET DEVELOPMENT, LLC.
DRAWING TITLE: UTILITY PLAN
PROJECT MANAGER: P. VARS/M. JANDA
PROJECT ENGINEER: R. DESTRO
DRAWN BY: R. DESTRO
SCALE: 1" = 50'
DATE ISSUED: FEBRUARY 2016
PROJECT NO.: 2346A
DRAWING NO.: 10

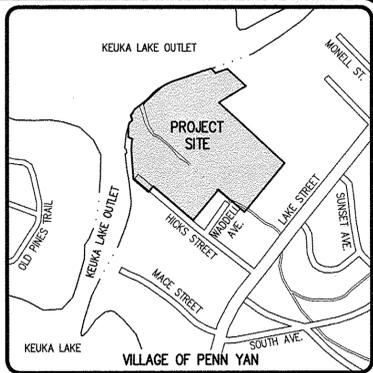
STORM STRUCTURE TABLE
STRUCTURE DESIGNATION: STRUCTURE TYPE:
D-5 24"x24" GUTTER INLET
D-5 24"x24" GUTTER INLET
D-4 5" DIA. INLET MH
D-4.1 24"x24" GUTTER INLET
D-3 24"x24" FIELD INLET
D-2.5.1 18" DIA. INLINE DRAIN
D-2.5A 18" DIA. INLINE DRAIN
D-2.5B 18" DIA. INLINE DRAIN
D-2.5 24"x24" FIELD INLET
D-2.4A 18" DIA. INLINE DRAIN
D-2.4B 18" DIA. INLINE DRAIN
D-2.4 24"x24" FIELD INLET
D-2.3A 18" DIA. INLINE DRAIN
D-2.3B 18" DIA. INLINE DRAIN
D-2.3 24"x24" FIELD INLET
D-2.2A 18" DIA. INLINE DRAIN
D-2.2B 18" DIA. INLINE DRAIN
D-2.2 24"x24" FIELD INLET
D-2.1A 18" DIA. INLINE DRAIN
D-2.1B 18" DIA. INLINE DRAIN
D-2.1 5" DIA. INLET MH
D-2 6" DIA. INLET MH
D-1.5.1 18" DIA. INLINE DRAIN
D-1.5 24"x24" GUTTER INLET
D-1.4.1 18" DIA. INLINE DRAIN
D-1.4 5" DIA. INLET MH
D-1.3 24"x24" GUTTER INLET
D-1.2 24"x24" GUTTER INLET
D-1.1 24"x24" GUTTER INLET
D-1 6" DIA. INLET MH
D-1.A 24"x24" GUTTER INLET
D 30" END SECTION
DA-2 24"x24" FIELD INLET
DA-1 24"x24" GUTTER INLET
DB-1 24" END SECTION
DB 24" END SECTION

SEE NOTE SHEET, BME DWG. #2346A-17 FOR UTILITY NOTES



FOR VILLAGE USE ONLY
This plan has not received final approval of all reviewing agencies. This plan is subject to revisions until all approvals are obtained and should not be used for construction purposes.

Drawing Alteration
The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing:
"It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way if an item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall affix to the item his seal and the notation "altered" followed by his signature and the date of such alteration, and a specific description of the alteration."



LOCATION MAP
NOT TO SCALE

LEGEND

- BOUNDARY LINE
- PROPOSED LOT LINE
- CENTERLINE
- SETBACK LINE
- PROPERTY MARKER FOUND
- EXISTING WATERMAIN, HYDRANT AND VALVE
- PROPOSED WATERMAIN, HYDRANT AND VALVE
- EXISTING STORM SEWER, AND MANHOLE
- PROPOSED STORM SEWER, MANHOLE AND INLET
- EXISTING SANITARY SEWER AND MANHOLE
- PROPOSED SANITARY SEWER AND MANHOLE
- EXISTING TREE LINE
- PROPOSED TREE LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
- PROPOSED FINISHED GRADE

336x5
FG = 338.0

BROWNFIELD CLEANUP NOTES:

1. THE SITE OWNER AND SITE CONTRACTOR SHALL BE FAMILIAR WITH THE RESTRICTIONS FOR DEVELOPMENT ON THE BROWNFIELD PORTION OF THE SITE TO INCLUDE ALL RESTRICTIONS AND REQUIREMENTS INCLUDED IN THE SITE MANAGEMENT PLAN (SMP) PREPARED BY LABELLA ASSOCIATES AND REGULATIONS OR REQUIREMENTS OF ANY OTHER APPLICABLE AGENCIES.
2. SPECIAL ATTENTION IS DIRECTED FOR THE DISPOSAL OF SITE CLEARING/GRUBBING DEBRIS, ON-SITE DEMOLITION MATERIAL AND EXCESS/UNUSED EXCAVATION MATERIALS. USE AND/OR DISPOSAL OF SUCH SHALL CONFORM TO THE REQUIREMENTS INCLUDED WITHIN THE EXCAVATION WORK PLAN PREPARED BY LABELLA ASSOCIATES.

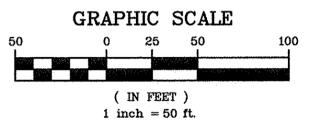
FLOODPLAIN NOTE:

THE 100-YR FLOOD PLAN ELEVATIONS SHOWN PER FEMA FLOOD INSURANCE RATE MAP (FIRM), COMMUNITY-PANEL NUMBER (360962 0001 C), WITH A JUNE 15, 1981 EFFECTIVE DATE. FLOOD PLAN SHOWN ON PLANS HAVE BEEN ADJUSTED TO THE NAVD 88 DATUM.

FILL NOTE:

FILL MATERIAL PLACED IN THE PAVEMENT AND BUILDING AREA SHALL BE SELECT MATERIAL AND COMPACTED TO A MINIMUM OF 95% OF THE MAXIMUM DRY DENSITY AS MEASURED BY THE MODIFIED PROCTOR TEST (ASTM D1557) AND/OR THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER. THE CONTRACTOR SHALL SUPPLY THE ENGINEER AND THE VILLAGE OF PENN YAN WITH COMPACTION TEST RESULTS PRIOR TO PLACING THE STONE SUBBASE.

SEE NOTE SHEET, BME DWG. #2346A-17 FOR GRADING NOTES



FOR VILLAGE USE ONLY

NOT APPROVED

This plan has not received final approval of all reviewing agencies. This plan is subject to revisions until all approvals are obtained and should not be used for construction purposes.

NO.	REVISIONS	DATE	BY
7			
6			
5			
4			
3			
2			
1			

BME ASSOCIATES
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS
PHONE: 565-377-7960
FAX: 565-377-7899
10 LIFT BRIDGE LANE EAST
FARMINGTON, NEW YORK 14450
WWW.BMEPC.COM

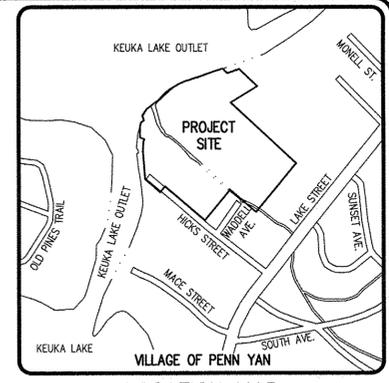


THE MOORINGS ON KEUKA
VILLAGE OF PENN YAN, YATES COUNTY, NEW YORK STATE
KEUKA OUTLET DEVELOPMENT, LLC.
PO BOX 234
GORHAM, NEW YORK 14861
FINAL
GRADING PLAN

PROJECT LOCATION CLIENT DRAWING TITLE

PROJECT MANAGER
P. VARS/M. JANDA
PROJECT ENGINEER
R. DESTRO
DRAWN BY
R. DESTRO
SCALE DATE ISSUED
1" = 50' FEBRUARY 2016
PROJECT NO.

2346A
DRAWING NO.
11



Drawing Alteration
 The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing:
 "It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way, if on item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall affix to the item his seal and the notation "altered by" followed by his signature and the date of such alteration, and a specific description of the alteration."

NO.	DATE	BY	REVISIONS
7			
6			
5			
4			
3			
2			
1			

BME ASSOCIATES
 ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS
 15 WEST BRUNNEN LAKE DRIVE
 GORHAM, NEW YORK 14456
 PHONE: 607-371-2360
 FAX: 607-374-7609
 WWW.BMECORP.COM



THE MOORINGS ON KEUKA
 TOWN OF PENN YAN, YATES COUNTY, NEW YORK STATE
 KEUKA LAKE OUTLET DEVELOPMENT, LLC.
 GORHAM, NEW YORK 14461

CONSTRUCTION EROSION CONTROL PLAN

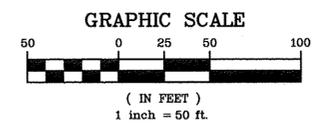
PROJECT MANAGER: P. VARS/M. JANDA
 PROJECT ENGINEER: R. DESTRO
 DRAWN BY: R. DESTRO
 SCALE: 1"=50'
 DATE ISSUED: FEBRUARY 2016
 PROJECT NO.: 2346A
 DRAWING NO.: 12

PHELPS & GORHAM PURCHASE, TOWNSHIP 7, RANGE 1, TOWN LOT 7, TAX MAP NUMBER 061.26-1-1 & 061.33-1-5

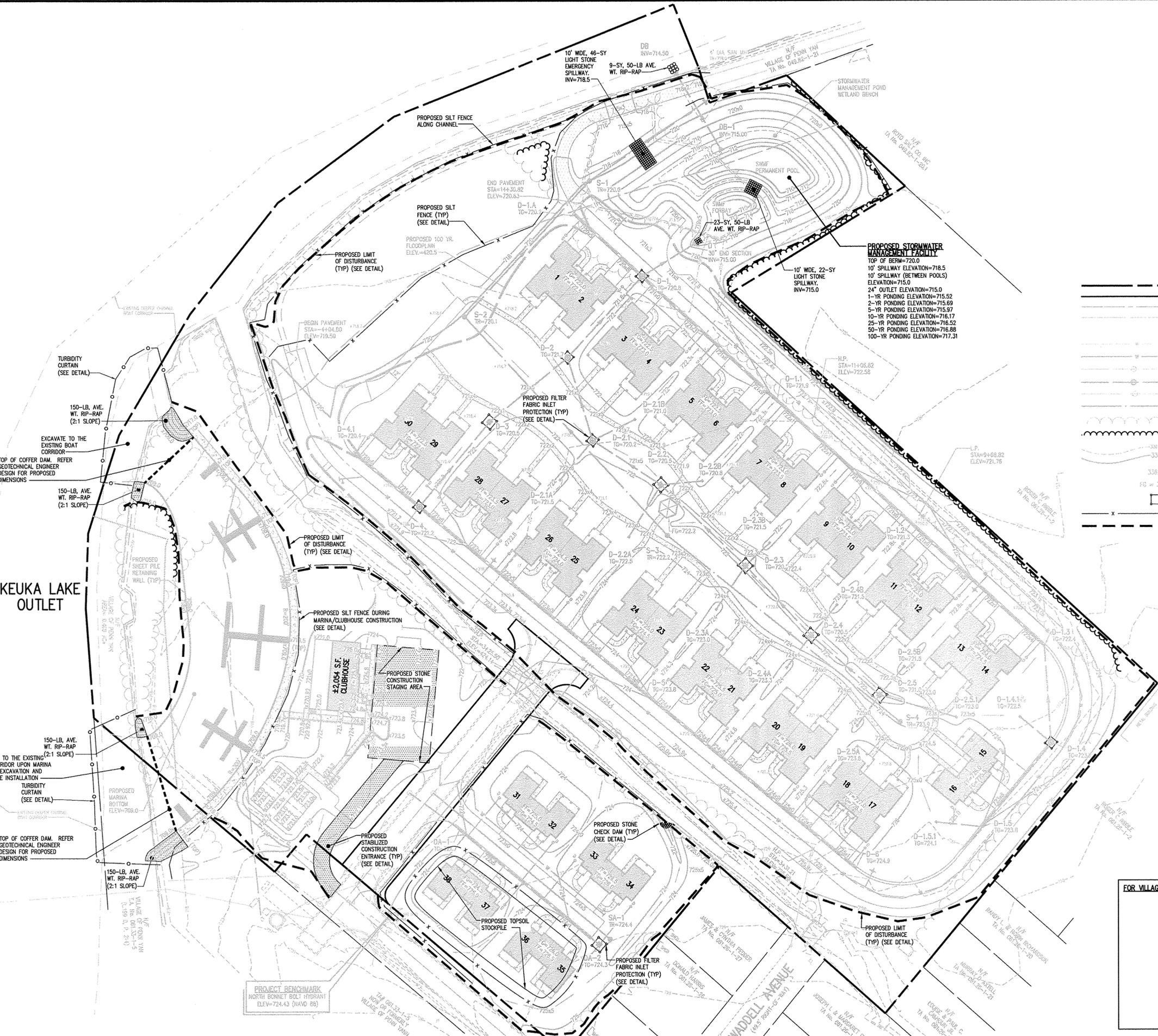
LEGEND

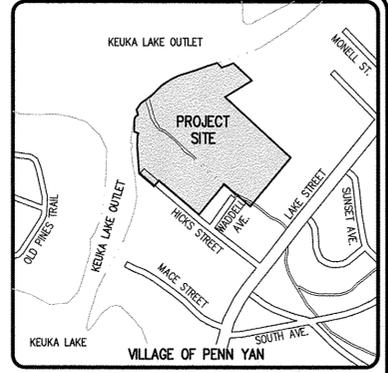
- BOUNDARY LINE
- PROPOSED LOT LINE
- CENTERLINE
- SETBACK LINE
- PROPERTY MARKER FOUND
- EXISTING WATERMAIN, HYDRANT AND VALVE
- PROPOSED WATERMAIN, HYDRANT AND VALVE
- EXISTING STORM SEWER, AND MANHOLE
- PROPOSED STORM SEWER, MANHOLE AND INLET
- EXISTING SANITARY SEWER AND MANHOLE
- PROPOSED SANITARY SEWER AND MANHOLE
- EXISTING TREELINE
- PROPOSED TREE LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
- PROPOSED FINISHED GRADE
- PROPOSED INLET PROTECTION
- PROPOSED SILT FENCE
- PROPOSED DISTURBANCE LIMITS

SEE NOTE SHEET, BME DWG. #2346A-17 FOR CONSTRUCTION EROSION CONTROL NOTES AND SEQUENCE OF CONSTRUCTION STEPS



FOR VILLAGE USE ONLY





LOCATION MAP
NOT TO SCALE

LANDSCAPE NOTES:

- ALL PLANTS SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS AS NOTED IN THE LAST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERYMEN, ANSI Z601.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN QUANTITY TAKEOFFS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING UNDERGROUND UTILITIES PRIOR TO THE START OF CONSTRUCTION.
- ALL TREES SHALL BE LOCATED A MINIMUM DISTANCE OF FIVE FEET (5') FROM UNDERGROUND UTILITIES TO THE PLANT BALL.
- ALL TREES SHALL BE LOCATED A MINIMUM DISTANCE OF TEN FEET (10') FROM OVERHEAD UTILITIES TO THE PLANT BALL.
- PLANTING SOIL MIXTURE SHALL HAVE A RATIO BY VOLUME OF FOUR PARTS TOPSOIL TO ONE PART PEAT. SOIL AMENDMENTS TO BE MODIFIED PER INDIVIDUAL PLANT MATERIAL REQUIREMENTS.
- STAKE TREES IMMEDIATELY AFTER PLANTING (REFER TO DETAIL).
- PROVIDE ALL PLANTING BEDS WITH A CONTINUOUS 3" LAYER OF MULCH. MULCH SHALL BE PROVIDED AS FOLLOWS: 100% SHREDED HARDWOOD MULCH, NO GREATER THAN 1" IN SIZE, UNIFORMLY MIXED AND FREE FROM DELETERIOUS MATERIAL.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CARE AND MAINTENANCE OF PLANT MATERIALS AND SEEDING AREAS UNTIL FINAL ACCEPTANCE.
- A MINIMUM ONE YEAR GUARANTEE SHALL BE PROVIDED ON ALL PLANT MATERIALS FROM THE DATE OF FINAL ACCEPTANCE.
- SEED ALL AREAS NOT PAVED, PLANTED OR SPECIFIED OTHERWISE WITH LAWN SEED. ALL AREAS TO BE PERMANENTLY SEED TO BE TOPSOILED AT A MINIMUM THICKNESS OF 6" PRIOR TO SEEDING.
 - A. LAWN SEED MIXTURE SHALL BE PROVIDED AS FOLLOWS:

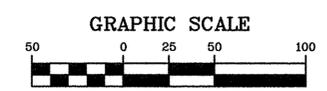
PURITY	% GERMINATION	% BY WEIGHT	% BY
'AFFINITY' PERENNIAL RYE GRASS	85	35	85
'PENNLAWN' RED FESCUE	80	35	97
'BARON' & 'MIDNIGHT' KENTUCKY BLUEGRASS	80	30	85

SEEDING RATE: 6.0 LBS PER 1,000 SF.
MULCH: STRAW AT TWO TONS PER ACRE, OR WOOD FIBER MULCH USED WITH A HYDROSEEDING APPLICATION METHOD, WITH TACKIFIER.
STARTING FERTILIZER: 5:10:10 AT 20 LBS PER 1,000 SF.
- B. STORMWATER POND SEED MIXTURE SHALL BE PROVIDED AS FOLLOWS:
'OBL. WETLAND MIX' (ERNM-131) BY ERNST CONSERVATION SEEDS, AT A RATE OF 20 POUNDS PER ACRE, OR APPROVED EQUIVALENT.
- C. STORMWATER MANAGEMENT AREA MIX SHALL BE PROVIDED AS FOLLOWS:
'NATIVE STEEP SLOPE MIX' (ERNM-181) BY ERNST CONSERVATION SEEDS, AT A RATE OF 20 POUNDS PER ACRE, OR APPROVED EQUIVALENT.
- D. RAIN GARDEN GRASS SEED MIX SHALL BE PROVIDED AS FOLLOWS:
'RAIN GARDEN GRASS MIX' (ERNM-180-1) BY ERNST CONSERVATION SEEDS, AT A RATE OF 15 LBS PER ACRE, OR APPROVED EQUIVALENT.
- E. REFER TO BME DWG NO. 2406B-13/CONSTRUCTION EROSION CONTROL PLAN FOR FURTHER SEEDING REQUIREMENTS.
- A LANDSCAPE PACKAGE WILL BE PROVIDED AND DETAILED BASED UPON SUN EXPOSURE, MICROCLIMATE, AND BUILDING ORIENTATION FOR INDIVIDUAL HOUSING UNITS

SEE BME DRAWING NO 2346A-xx
FOR LANDSCAPE DETAILS AND
PLANT MATERIALS LIST

SEED MIX LEGEND:

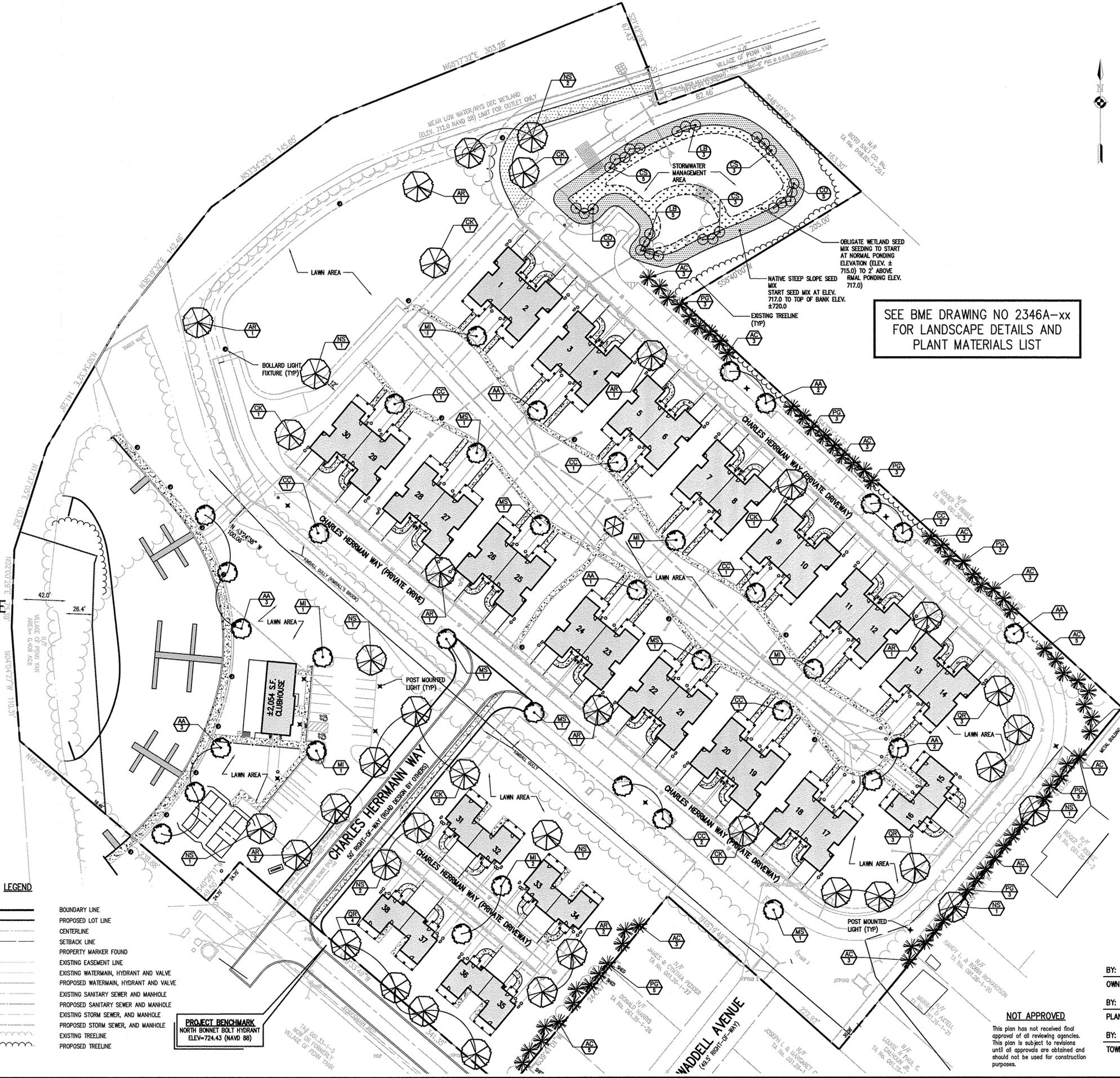
- STORMWATER POND SEED MIX:
'OBL. Wetland Mix', Ernst Conservation Seeds, ERNM-131
- UPPER POND AREA SEEDING MIX:
'Native Steep Slope Mix w/ Annual Ryegrass', Ernst Conservation Seeds, ERNM-181



BY: N.T.S. DATE: _____
OWNER: _____
BY: _____ DATE: _____
PROJECT BOARD CHAIRMAN
BY: _____ DATE: _____
TOWN ENGINEER

NOT APPROVED

This plan has not received final approval of all reviewing agencies. This plan is subject to revisions until all approvals are obtained and should not be used for construction purposes.



LEGEND

- BOUNDARY LINE
- PROPOSED LOT LINE
- CENTERLINE
- SETBACK LINE
- PROPERTY MARKER FOUND
- EXISTING EASEMENT LINE
- EXISTING WATERMAIN, HYDRANT AND VALVE
- PROPOSED WATERMAIN, HYDRANT AND VALVE
- EXISTING SANITARY SEWER AND MANHOLE
- PROPOSED SANITARY SEWER AND MANHOLE
- EXISTING STORM SEWER, AND MANHOLE
- PROPOSED STORM SEWER, AND MANHOLE
- EXISTING TREELINE
- PROPOSED TREELINE

PROJECT BENCHMARK
NORTH BONNET BOLT HYDRANT
ELEV=724.43 (NAVD 88)

Drawing Alteration
The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing:
"It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way if on item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall affix to the item his seal and the notation 'altered by' followed by his signature and the date of such alteration, and a specific description of the alteration."

NO.	REVISIONS	DATE	BY
7			
6			
5			
4			
3			
2			
1			

BME ASSOCIATES
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS
10 JEFF BRIDGELAND EAST
FAIRPORT, NEW YORK 14450
PHONE 562-377-7960
FAX 562-377-7909
WWW.BMEPC.COM



THE MOORINGS ON KEUKA
VILLAGE OF PENN YAN, Yates County, NEW YORK STATE
KEUKA OUTLET DEVELOPMENT, LLC.
PO BOX 274
GORHAM, NEW YORK 14661
PRELIMINARY/FINAL
LANDSCAPE PLAN

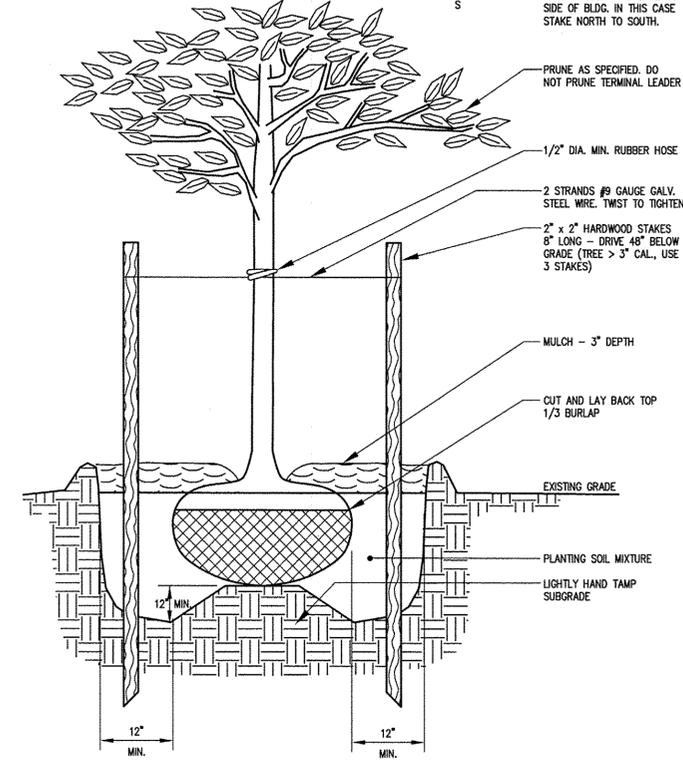
PROJECT: THE MOORINGS ON KEUKA
LOCATION: VILLAGE OF PENN YAN, YATES COUNTY, NEW YORK STATE
CLIENT: KEUKA OUTLET DEVELOPMENT, LLC.
PROJECT NO. 2346A
DRAWING NO. 13
PROJECT MANAGER: P. VARS
PROJECT ENGINEER: R. DESTRO
DRAWN BY: L. ROCKCASTLE
SCALE: 1"=50'
DATE ISSUED: FEBRUARY 2016

P. 2346A (Drawings) \Files\2346A Landscape Base.rvt

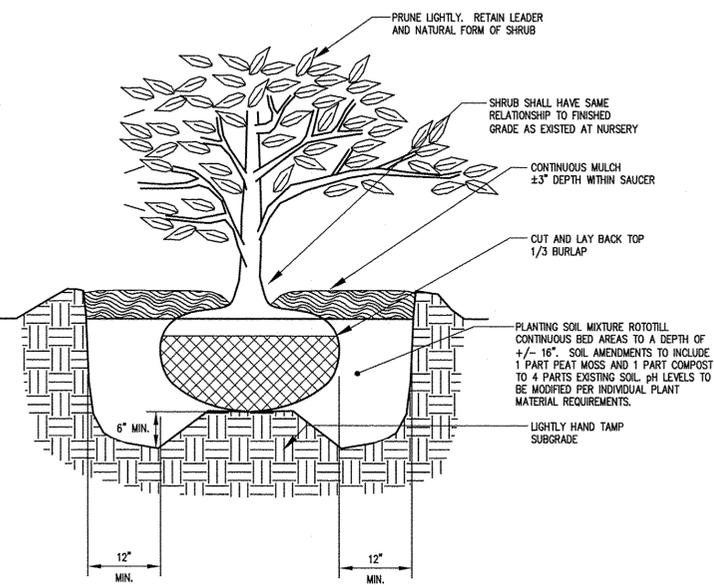
STAKING DETAIL



STAKES TO BE LOCATED NORTHWEST TO SOUTHEAST UNLESS TREES ARE ON EAST SIDE OF BLDG. IN THIS CASE STAKE NORTH TO SOUTH.



TREE PLANTING DETAIL
N.T.S.



SHRUB PLANTING DETAIL
N.T.S.

LEGEND

- BOUNDARY LINE
- PROPOSED LOT LINE
- CENTERLINE
- SETBACK LINE
- PROPERTY MARKER FOUND
- EXISTING EASEMENT LINE
- EXISTING WATERMAIN, HYDRANT AND VALVE
- PROPOSED WATERMAIN, HYDRANT AND VALVE
- EXISTING SANITARY SEWER AND MANHOLE
- PROPOSED SANITARY SEWER AND MANHOLE
- EXISTING STORM SEWER, AND MANHOLE
- PROPOSED STORM SEWER, AND MANHOLE
- EXISTING TREELINE
- PROPOSED TREELINE

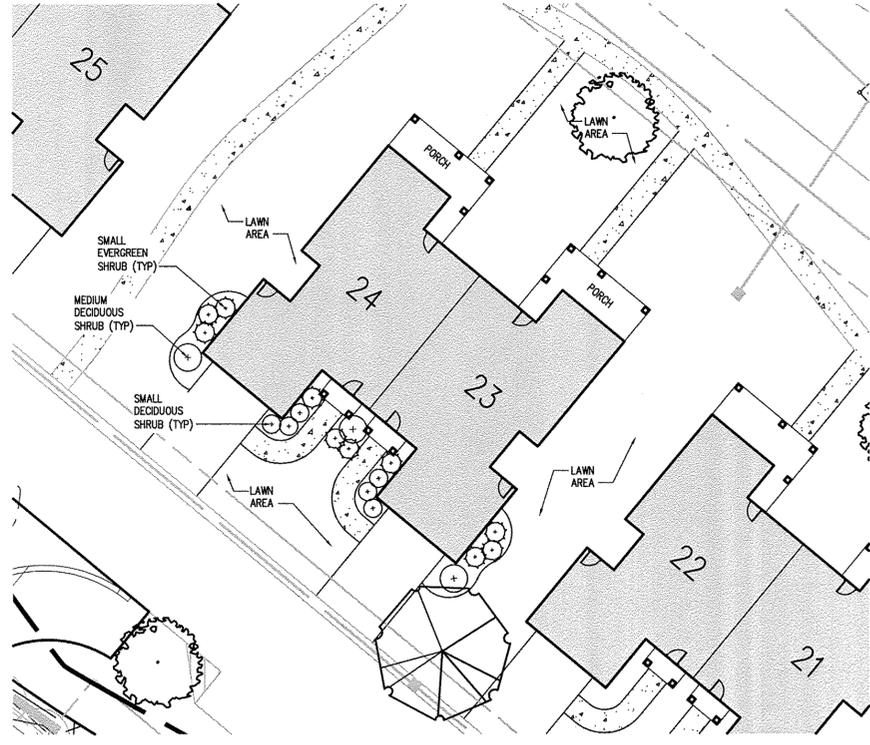
SITE PLANT MATERIALS LIST (PHASE 1)

QTY.	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	COMMENTS
TREES						
13	AA	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	2" cal	B&B	
37	AC	Abies concolor	White Fir	6'-8'	B&B	
10	AR	Acer rubrum	Red Maple	2.5" cal	B&B	
9	CC	Cercis canadensis	Red Bud	2.5" cal	B&B	
8	CK	Cladostis kentuckea	Yellowwood	2.5" cal	B&B	
7	MI	Malus 'Indian Summer'	Indian Summer Crabapple	2.5" cal	B&B	
6	MS	Malus 'Spring Snow'	Spring Snow Crabapple	2.5" cal	B&B	
10	NS	Nyssa sylvatica	Black Gum	2.5" cal	B&B	
28	PG	Picea glauca	White Spruce	6'-8'	B&B	
10	QR	Quercus rubra	Red Oak	2.5" cal	B&B	
STORMWATER MANAGEMENT AREA SHRUBS						
8	CO	Cephalanthus occidentalis	Buttonbush	24"	BR	or B&B *
11	CS	Cornus sericea	Red Twig Dogwood	24"	BR	or B&B *
8	LB	Lindera benzoin	Spicebush	24"	BR	or B&B *

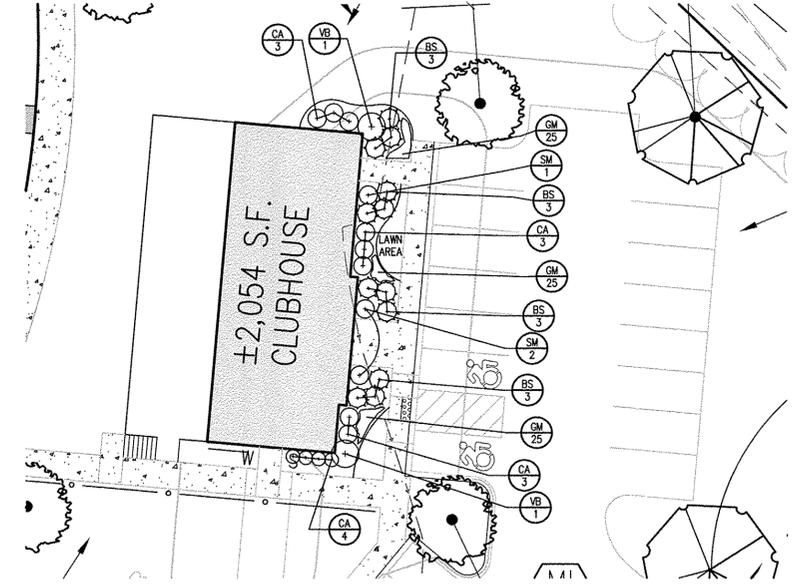
* PLANT SHRUB MATERIALS AT ± 2'-3' ABOVE NORMAL PONDING ELEV.

CLUBHOUSE FOUNDATION PLANT MATERIALS LIST

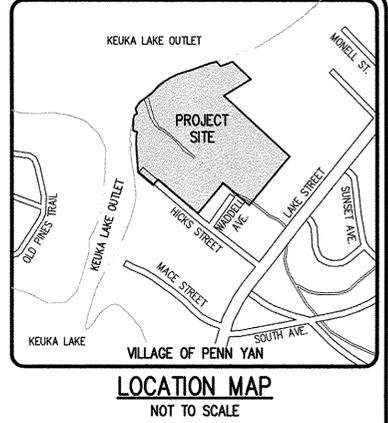
QTY.	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	COMMENTS
SHRUBS						
12	BS	Buxus sempervirens 'Vardar Valley'	Vardar Valley Boxwood	24"	B&B	
12	CA	Clethra alnifolia 'Hummingbird'	Summersweet	24"	B&B	
3	SM	Syringa meyeri 'Palibin'	Meyer Lilac	24"	B&B	
2	VB	Viburnum burkwoodii	Burkwood Viburnum	24"	B&B	
GROUNDCOVERS/PERENNIALS						
75	GM	Geranium macrorrhizum 'Spessart'	Spessart Geranium	#1	cont.	plant spacing @ 18" o.c.



RESIDENTIAL UNIT LANDSCAPE DETAIL
SCALE: 1"=20'



CLUBHOUSE LANDSCAPE DETAIL
SCALE: 1"=20'



LOCATION MAP
NOT TO SCALE

Drawing Alteration
The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing:
"It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way, if an item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall affix to the item his seal and the notation "Altered by" followed by his signature and the date of such alteration, and a specific description of the alteration."

NO.	REVISIONS	DATE	BY
7			
6			
5			
4			
3			
2			
1			

BME ASSOCIATES
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS
PHONE 562-377-7500
FAX 562-377-7509
10 LIFT BRIDGE LANE EAST
FAIRPORT, NEW YORK 14450
WWW.BMEPC.COM



THE MOORINGS ON KEUKA
VILLAGE OF PENN YAN, Yates County, NEW YORK STATE
KEUKA OUTLET DEVELOPMENT, LLC.
PO BOX 214
GORHAM, NEW YORK 14601
PRELIMINARY/FINAL
LANDSCAPE PLAN

PROJECT: THE MOORINGS ON KEUKA
LOCATION: VILLAGE OF PENN YAN, YATES COUNTY, NEW YORK STATE
CLIENT: KEUKA OUTLET DEVELOPMENT, LLC.

PROJECT MANAGER: P. VARS
PROJECT ENGINEER: R. DESTRO
DRAWN BY: L. ROCKCASTLE
SCALE: 1" = 20'
DATE ISSUED: FEBRUARY 2016
PROJECT NO.: 2346A

DRAWING NO.: 14

APPROVALS

BY: N.T.S. DATE:

OWNER:

BY: PLANNING BOARD CHAIRMAN DATE:

BY: TOWN ENGINEER DATE:

NOT APPROVED
This plan has not received final approval of all reviewing agencies. This plan is subject to revisions until all approvals are obtained and should not be used for construction purposes.

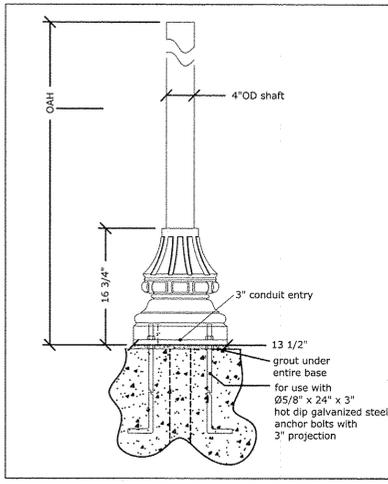
HELPS & GORHAM PURCHASE, TOWNSHIP 7, RANGE 1, TOWN LOT 7, TAX MAP NUMBER 061.26-1-1 & 061.33-1-5

P. 12346A (Drawings) Final 12/14/16 Landscape (Borawski)

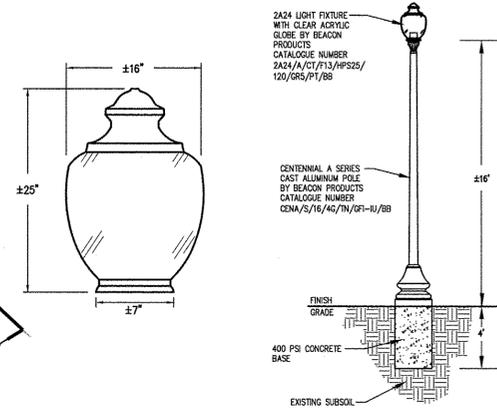
LUMINAIRE SCHEDULE

Symbol	Qty	Arrangement	Mounting Height	Lumens	LLF	Description
★	11*	SINGLE	16'	15000	0.720	BEACON PRODUCTS ACORN FIXTURE CAT. NO. 2A24/A/CT/F13/HPS25/120/GR5/PT/BB
●	19	SINGLE	±42"	3500	0.80	BEACON PRODUCTS BOLLARD FIXTURE CAT. NO. CMB42/L/AC/LED48/120/ENL/BB

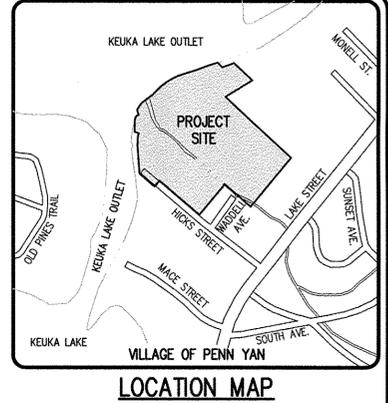
* FOUR FIXTURES TO HAVE INTERNAL HOUSE SIDE SHIELD



BASE DETAIL
N.T.S.



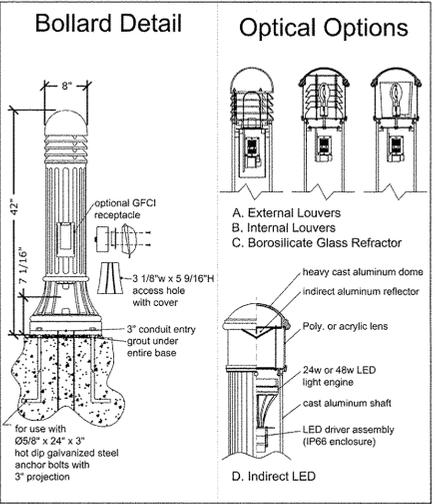
ACORN LIGHT FIXTURE DETAIL
N.T.S.



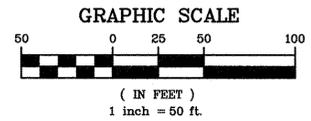
LOCATION MAP

LIGHTING NOTES:

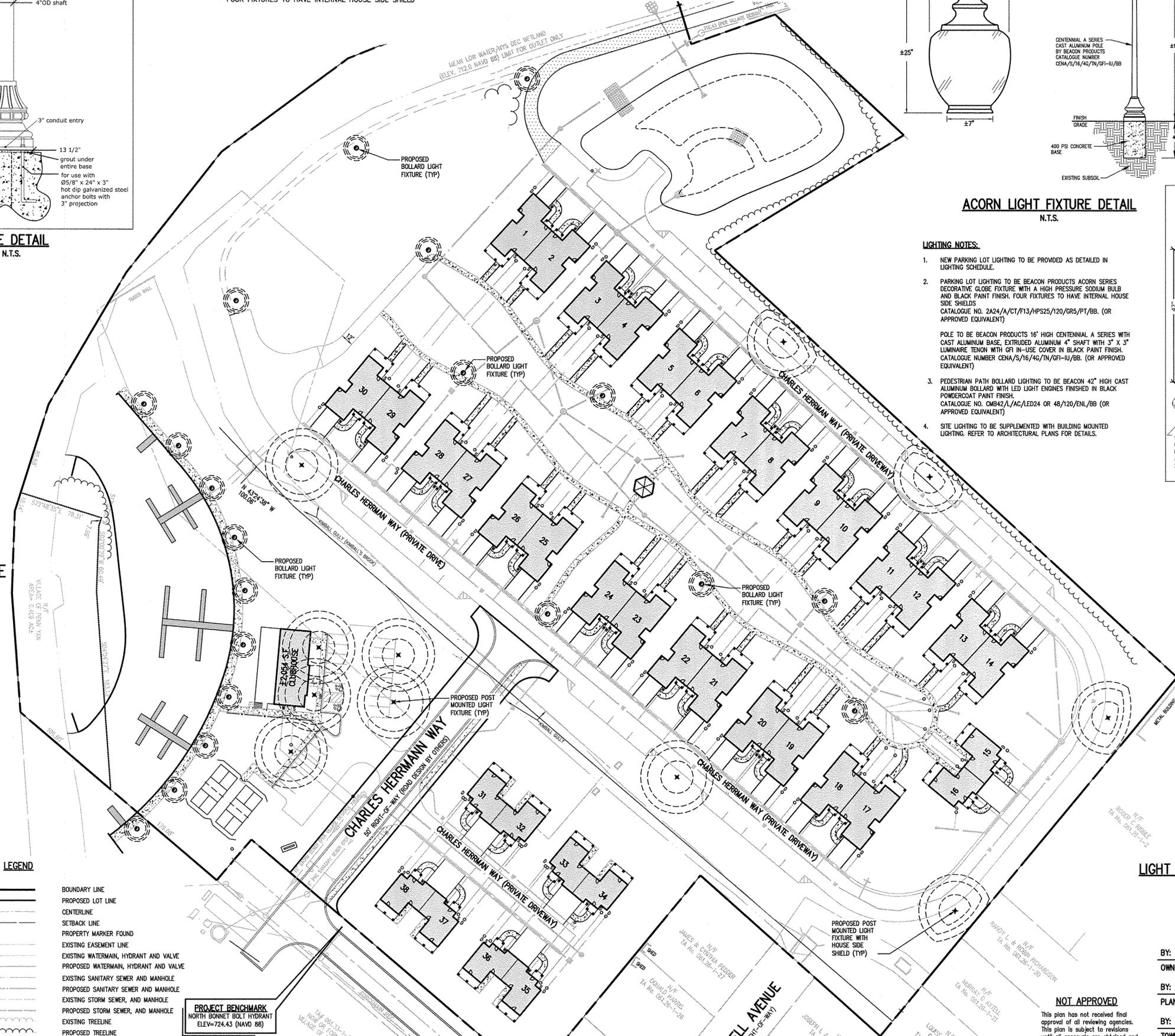
- NEW PARKING LOT LIGHTING TO BE PROVIDED AS DETAILED IN LIGHTING SCHEDULE.
- PARKING LOT LIGHTING TO BE BEACON PRODUCTS ACORN SERIES DECORATIVE GLOBE FIXTURE WITH A HIGH PRESSURE SODIUM BULB AND BLACK PAINT FINISH. FOUR FIXTURES TO HAVE INTERNAL HOUSE SIDE SHIELD. CATALOGUE NO. 2A24/A/CT/F13/HPS25/120/GR5/PT/BB. (OR APPROVED EQUIVALENT)
- POLE TO BE BEACON PRODUCTS 16' HIGH CENTENNIAL A SERIES WITH CAST ALUMINUM BASE, EXTRUDED ALUMINUM 4" SHAFT WITH 3" X 3" LUMINAIRE TENSION WITH GF IN-LINE COVER IN BLACK PAINT FINISH. CATALOGUE NUMBER CEM4/S/16/40/TN/GT-11/BB. (OR APPROVED EQUIVALENT)
- PEDESTRIAN PATH BOLLARD LIGHTING TO BE BEACON 42" HIGH CAST ALUMINUM BOLLARD WITH LED LIGHT ENGINES FINISHED IN BLACK POWDERCOAT PAINT FINISH. CATALOGUE NO. CMB42/L/AC/LED24 OR 48/120/ENL/BB (OR APPROVED EQUIVALENT)
- SITE LIGHTING TO BE SUPPLEMENTED WITH BUILDING MOUNTED LIGHTING. REFER TO ARCHITECTURAL PLANS FOR DETAILS.



BOLLARD FIXTURE DETAIL
N.T.S.



KEUKA LAKE OUTLET



LIGHT FIXTURE PHOTOMETRIC PLOT
N.T.S.

APPROVALS	
BY: _____	DATE: _____
OWNER: _____	DATE: _____
BY: _____	DATE: _____
PLANNING BOARD CHAIRMAN	DATE: _____
BY: _____	DATE: _____
TOWN ENGINEER	DATE: _____

NOT APPROVED

This plan has not received final approval of all reviewing agencies. This plan is subject to revisions until all approvals are obtained and should not be used for construction purposes.

LEGEND

	BOUNDARY LINE
	PROPOSED LOT LINE
	CENTERLINE
	SETBACK LINE
	PROPERTY MARKER FOUND
	EXISTING EASEMENT LINE
	EXISTING WATERMAIN, HYDRANT AND VALVE
	PROPOSED WATERMAIN, HYDRANT AND VALVE
	EXISTING SANITARY SEWER AND MANHOLE
	PROPOSED SANITARY SEWER AND MANHOLE
	EXISTING STORM SEWER, AND MANHOLE
	PROPOSED STORM SEWER, AND MANHOLE
	EXISTING TREELINE
	PROPOSED TREELINE

PROJECT BENCHMARK
NORTH BONNET BOLT HYDRANT
ELEV=724.43 (NAVD 88)

Drawing Alteration
The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing:
"It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor or other person authorized by law to alter any item in any way, if on item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall affix to the item his seal and the notation "followed by" followed by his signature and the date of such alteration, and a specific description of the alteration."

REVISIONS	DATE	BY
7		
6		
5		
4		
3		
2		
1		

BME ASSOCIATES
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS
PHONE 585-377-7360
FAX 585-377-7309
10 LIFT BRIDGE LANE EAST
FARMPORT, NEW YORK 14450
WWW.BMEPCOM



THE MOORINGS ON KEUKA
VILLAGE OF PENN YAN, Yates County, New York State
KEUKA OUTLET DEVELOPMENT, LLC.
PO BOX 214
GORHAM, NEW YORK 14851

PRELIMINARY/FINAL LIGHTING PLAN

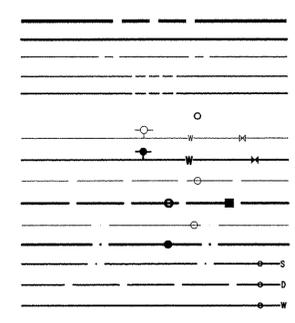
PROJECT MANAGER
P. VARS
PROJECT ENGINEER
R. DESTRO
DRAWN BY
L. ROCKCASTLE
SCALE DATE ISSUED
1"=50' FEBRUARY 2016
PROJECT NO.

2346A
DRAWING NO.
15

PHELPS & GORHAM PURCHASE, TOWNSHIP 7, RANGE 1, TOWN LOT 7, TAX MAP NUMBER 061.26-1-1 & 061.33-1-5

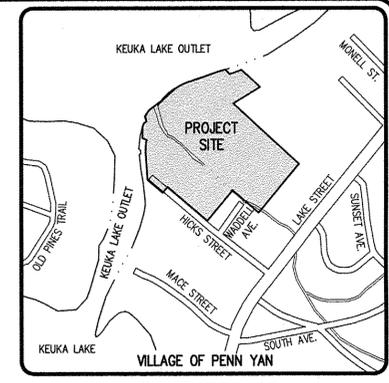
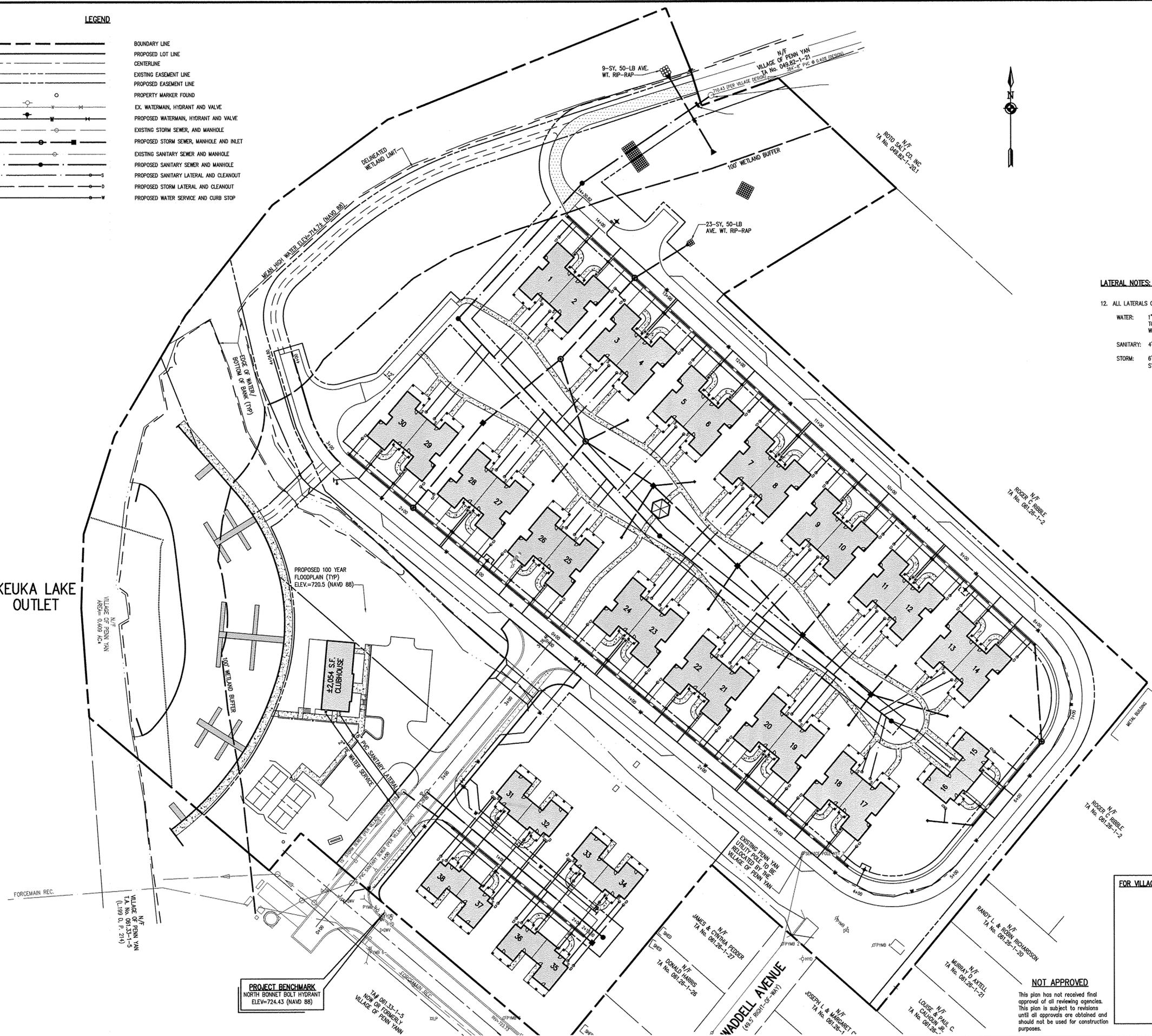
P: 1246A Drawings/Plan/2346A Design: Bme.dwg

LEGEND



BOUNDARY LINE
PROPOSED LOT LINE
CENTERLINE
EXISTING EASEMENT LINE
PROPOSED EASEMENT LINE
PROPERTY MARKER FOUND
EX. WATERMAIN, HYDRANT AND VALVE
PROPOSED WATERMAIN, HYDRANT AND VALVE
EXISTING STORM SEWER, AND MANHOLE
PROPOSED STORM SEWER, MANHOLE AND INLET
EXISTING SANITARY SEWER AND MANHOLE
PROPOSED SANITARY SEWER AND MANHOLE
PROPOSED SANITARY LATERAL AND CLEANOUT
PROPOSED STORM LATERAL AND CLEANOUT
PROPOSED WATER SERVICE AND CURB STOP

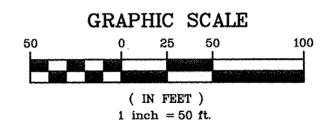
KEUKA LAKE OUTLET



LOCATION MAP
NOT TO SCALE

LATERAL NOTES:

- 12. ALL LATERALS OR SERVICES SHALL BE AS NOTED BELOW UNLESS OTHERWISE NOTED ON THE PLANS.
WATER: 1" INCH PE #4710 (2" P.E. FOR CLUBHOUSE) WITH TRACER WIRE FROM THE CURB BOX TO THE METER...
SANITARY: 4" PVC SDR-35 @ 2.00% MIN SLOPE (6" PVC SDR-35 @ 1.00% MIN FOR CLUBHOUSE)
STORM: 6" PVC SDR-35 @ 1.00%. UNITS TO INCLUDE PERIMETER DOWNSPOUT COLLECTOR SYSTEM (BY BUILDER) TO BE CONNECTED INTO 6" PVC STORM LATERAL.



FOR VILLAGE USE ONLY
NOT APPROVED
This plan has not received final approval of all reviewing agencies. This plan is subject to revisions until all approvals are obtained and should not be used for construction purposes.

Drawing Alteration
The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing:
It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way, if an item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall file to the item his seal and the notation "altered by" followed by his signature and the date of such alteration, and a specific description of the alteration."

Table with columns: REVISIONS, DATE, BY. Contains revision history.

BME ASSOCIATES
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS
10 LIFT BRIDGE LANE EAST
PENNACAPARK 14450
WWW.BMEPCOM
PHONE 585-377-3980
FAX 585-377-3985



THE MOORINGS ON KEUKA
TOWN OF PENN YAN, YATES COUNTY, NEW YORK STATE
KEUKA OUTLET DEVELOPMENT, LLC.
PO BOX 224
GORHAM, NEW YORK 14461
FINAL
LATERAL PLAN

PROJECT MANAGER: P. VARS/M. JANDA
PROJECT ENGINEER: R. DESTRO
DRAWN BY: R. DESTRO
SCALE: 1" = 50'
DATE ISSUED: FEBRUARY 2016
PROJECT NO.: 2346A
DRAWING NO.: 16

UTILITY NOTES:

- NOTES RELATING TO SETBACK SHOWN HEREON ARE INTENDED TO SHOW APPLICABLE ZONING REQUIREMENTS OF THE VILLAGE OF PENN YAN AS OF THE DATE OF THIS MAP AND ARE NOT INTENDED TO IMPOSE ANY ADDITIONAL RESTRICTIONS OTHER THAN SAID ZONING REQUIREMENTS.
- ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE VILLAGE OF PENN YAN AND THE APPROPRIATE AGENCIES UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD, AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENTS IN THE AREAS OF CONSTRUCTION.
- EXISTING UNDERGROUND UTILITIES SHOWN HEREIN WERE PLOTTED FROM FIELD LOCATIONS AND/OR UTILITY COMPANY RECORD PLANS. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL CALL THE UFPO HOTLINE AT (800)962-7962 FOR STAKE-OUT OF EXISTING UTILITIES.
- THE CONTRACTOR SHALL DETERMINE EXACT LOCATION AND ELEVATION OF UNDERGROUND UTILITIES BEFORE COMMENCING CONSTRUCTION. CONTRACTOR SHALL MAKE EXPLORATION EXCAVATIONS TO LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS AS REQUIRED TO MEET EXISTING CONDITIONS.
- ROOF RUNOFF SHALL BE DIRECTED TO THE PROPOSED STORM SEWERS OR SPLASH BLOCKS IF ROOF LEADERS DISCHARGE TO GROUND SURFACE.
- WATER AND APPURTENANCES TO BE CONSTRUCTED TO THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE VILLAGE OF PENN YAN.
- THE WATER MAIN SHALL BE DISINFECTED EQUAL TO AWWA STANDARD FOR DISINFECTING WATER MAINS DESIGNATION C651. FOLLOWING DISINFECTION, THE WATER MAIN SHALL BE FLUSHED UNTIL THE CHLORINE CONCENTRATION IN THE WATER LEAVING THE MAIN IS NO HIGHER THAN THAT GENERALLY PREVAILING IN THE SYSTEM. THE SAMPLING POINT(S) MUST BE DECONTAMINATED BY FLAMING. FIRE HYDRANTS ARE NOT ACCEPTABLE SAMPLING POINTS.
- THE WATER MAIN SHALL NOT BE PLACED INTO SERVICE UNTIL SO AUTHORIZED BY THE VILLAGE OF PENN YAN.
- ALL WATERMANS SHALL HAVE A MINIMUM OF 5' OF COVER FROM THE TOP OF THE MAIN TO FINISHED GRADE (6" IN PAVED AREAS). THE CONTRACTOR SHALL CHECK ALL CUT STAKES BEFORE TRENCHING TO INSURE THAT ALL INSTALLED WATERMANS WILL HAVE THE REQUIRED COVER.
- SANITARY SEWER PIPE TO BE (6" PVC SDR-35).
- ALL SANITARY SEWERS HAVE BEEN DESIGNED TO BE IN BASIC CONFORMANCE WITH THE SPECIFICATIONS AND SEWER POLICY OF THE VILLAGE OF PENN YAN.
- FLOOR DRAINS TO BE CONNECTED TO THE SANITARY SEWER. FLOOR DRAINS DO NOT INCLUDE FOUNDATION OF FOOTER DRAINS INSTALLED TO INTERCEPT UNCONTAMINATED GROUNDWATER. ALL DISCHARGES TO THE SANITARY SEWER MUST COMPLY WITH THE EFFLUENT LIMITS OF THE LOCAL SEWER USE LAW.
- INFILTRATION AND EXFILTRATION SHALL BE LIMITED TO 100 GALLONS PER MILER PER INCH DIAMETER OF PIPE PER 24 HOURS OF SANITARY SEWERS. IF AN AIR TEST IS USED, THE TEST AS A MINIMUM SHALL CONFORM TO THE PROCEDURE DESCRIBED IN ASTM-C-828-86, ENTITLED "STANDARD PRACTICE FOR LOW PRESSURE AIR TEST OF VITRIFIED CLAY PIPE LINES." SANITARY MANHOLES SHALL BE TESTED FOR EXFILTRATION.
- THE FOLLOWING TESTS SHALL BE PERFORMED ON PVC SANITARY SEWER PIPE:
 - DEFLECTION TESTS SHALL BE PERFORMED ON ALL FLEXIBLE PIPE. THE TEST SHALL BE CONDUCTED AFTER THE FINAL BACK FILL HAS BEEN IN PLACE AT LEAST 30 DAYS.
 - NO PIPE SHALL EXCEED A 5% DEFLECTION.
 - IF THE DEFLECTION TEST IS TO BE RUN USING A RIGID BALL OR MANDREL, IT SHALL HAVE A DIAMETER EQUAL TO 95% OF THE INSIDE DIAMETER OF THE PIPE. THE TEST SHALL BE PERFORMED WITHOUT MECHANICAL PULLING DEVICES.
- STORM SEWER PIPE SHALL BE (HDPPE) OR AS NOTED ON THE PLAN.
- ALL LATERALS OR SERVICES SHALL BE AS NOTED BELOW UNLESS OTHERWISE NOTED ON THE PLANS.

WATER: 1" INCH PE #4710 (2" P.E. FOR CLUBHOUSE) WITH TRACER WIRE FROM THE CURB BOX TO THE METER, AND SHALL INCLUDE PRESSURE REDUCING VALVES TO BE INSTALLED WITHIN THE PROPOSED BUILDINGS

SANITARY: 4" PVC SDR-35 @ 2.00% MIN SLOPE (6" PVC SDR-35 @ 1.00% MIN FOR CLUBHOUSE)

STORM: 6" PVC SDR-35 @ 1.00% MIN. UNITS TO INCLUDE PERIMETER DOWNSPOUT COLLECTOR SYSTEM (BY BUILDER) TO BE CONNECTED INTO 6" PVC STORM LATERAL.
- WATER MAIN TO BE 8" DIP CLASS 52 OR 2" P.E. AS SPECIFIED ON FINAL DESIGN PLANS.
- THE WATERMAIN SHALL BE PRESSURE/LEAKAGE TESTED IN ACCORDANCE WITH THE MINIMUM REQUIREMENTS OF THE AWWA STANDARD C-600 (LATEST REVISION) OR IN ACCORDANCE WITH MORE STRINGENT REQUIREMENTS IMPOSED BY THE VILLAGE OF PENN YAN MUNICIPAL UTILITIES.
- FOR WATERMAIN CONSTRUCTION, ALL MECHANICAL JOINT FITTINGS, TEES, BENDS, PLUGS, ETC. SHALL BE BACKED WITH 2,500 PSI CONCRETE THRUST BLOCKS.
- INDIVIDUAL WATER SERVICES SHALL INCLUDE A METER AND PRESSURE REDUCING VALVE TO BE LOCATED WITHIN EACH BUILDING/UNIT.
- PRIOR TO INSTALLATION OF THE WATERMAIN, THE CONTRACTOR SHALL PROVIDE RESULTS OF A 10 POINT SOIL TEST EVALUATION PER ANSI-AWWA C105-A21.5-82 TO DETERMINE THE NEED FOR POLYETHYLENE ENCASEMENT. SOIL TESTS ARE TO BE PERFORMED BY AN APPROVED SOIL TESTING LABORATORY IN ACCORDANCE WITH MCHWA STANDARDS.
- VILLAGE OF PENN YAN WATERMAIN HYDRANT FLOW DATA:

STATIC PRESSURE: 125 PSI
 FLOW @ 110 PSI: >1300 GPM
 LOCATION: HYDRANT AT THE CORNER OF HICKS STREET AND CHARLES HERRMAN WAY = ±722
 FLOW TEST DATA PROVIDED BY THE VILLAGE OF PENN YAN ON FEBRUARY 5, 2016.

CONSTRUCTION EROSION CONTROL NOTES:

- THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) CONSISTS OF BUT IS NOT LIMITED TO THE STORMWATER MANAGEMENT REPORT, THE PROJECT PLANS, INCLUDING THE GRADING, CONSTRUCTION EROSION CONTROL PLAN AND DETAIL SHEET, AND THE VILLAGE OF PENN YAN DESIGN AND CONSTRUCTION SPECIFICATIONS REGARDING STORMWATER CONTROL. THE SWPPP FOR THIS PROJECT IS INTENDED TO CONFORM WITH NYSDEC GENERAL PERMIT GP-0-15-002 AND THE REQUIREMENTS OF LOCAL AND NYSDEC AUTHORITIES REGARDING THE CONTROL OF STORMWATER QUANTITY AND QUALITY.
- THE OWNER IS RESPONSIBLE FOR IMPLEMENTING THE REQUIRED SWPPP. THE OWNER'S CONTRACTOR, SUB-CONTRACTOR AND ALL OTHERS ASSOCIATED WITH THE IMPLEMENTATION OF THE PLAN SHALL BE FAMILIAR WITH THE PLAN AND THE CONDITIONS OF THE NYSDEC GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES.
- ANY MODIFICATIONS OR DEVIATIONS FROM THE SWPPP, INCLUDING EROSION CONTROL MEASURES AND STORMWATER MANAGEMENT AREAS, SHALL BE DOCUMENTED IN THE INSPECTION REPORT AND CONSIDERED PART OF THE SWPPP FOR THE PROJECT.
- THE OWNER IS RESPONSIBLE FOR FILING THE NOTICE OF INTENT (NOI) FOR CONSTRUCTION ACTIVITY WITH NYSDEC PRIOR TO COMMENCING ANY CONSTRUCTION. A COPY OF THE NOI SHALL BE KEPT ON-SITE AND PROVIDED TO THE MUNICIPALITY.
- THE OWNER SHALL BE RESPONSIBLE FOR PROVIDING ON SITE INSPECTIONS BY A LICENSED PROFESSIONAL REGARDING EROSION CONTROL DURING CONSTRUCTION. INSPECTIONS ARE TO BE PROVIDED AT A MINIMUM OF TWICE A WEEK FOR DISTURBANCES OF 5 ACRES AND GREATER AND ONCE A WEEK FOR DISTURBANCES LESS THAN 5 ACRES. AN INSPECTION REPORT LOG AND THE SWPPP TO BE KEPT ON-SITE BY THE OWNER.
- FOR SITES WHERE SOIL DISTURBANCE ACTIVITIES HAVE BEEN TEMPORARILY SUSPENDED (E.G. WINTER SHUTDOWN) AND TEMPORARY STABILIZATION MEASURES HAVE BEEN APPLIED TO ALL DISTURBED AREAS, THE OWNER/OPERATOR MAY REDUCE THE SELF-INSPECTION FREQUENCY, BUT SHALL MAINTAIN A MINIMUM OF MONTHLY INSPECTIONS (30 CALENDAR DAYS)
- THE OWNER'S CONTRACTOR/REPRESENTATIVE SHALL IDENTIFY AT LEAST ONE INDIVIDUAL TO BE TRAINED FROM THEIR COMPANY THAT WILL BE RESPONSIBLE FOR IMPLEMENTATION OF THE SWPPP. THE INDIVIDUAL MUST RECEIVE (4) HOURS OF NYSDEC TRAINING EVERY (3) YEARS. THE OWNER/OPERATOR SHALL ENSURE THAT AT LEAST ONE OF THE TRAINED INDIVIDUALS IS ON SITE ON A DAILY BASIS WHEN SOIL DISTURBANCE ACTIVITIES ARE BEING PERFORMED.
- FOR DISTURBANCES OF 5 ACRES AND GREATER, DISTURBED AREAS NOT TO BE WORKED IN FOR 7 DAYS MUST BE TEMPORARILY SEEDED WITHIN 7 DAYS FROM THE DATE THE SOIL DISTURBANCE ACTIVITY CEASED. IF THE SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY GROUNDCOVER, THE DISTURBED AREAS SHALL BE MULCHED WITH STRAW OR EQUIVALENT MATERIAL. ADDITIONAL TIME FRAMES FOR STABILIZATION ARE SUBJECT TO THE REQUIREMENTS OF A REGULATED TRADITIONAL LAND USE MSA.
- FOR DISTURBANCES LESS THAN 5 ACRES, DISTURBED AREAS EXPOSED FOR 14 DAYS OR MORE MUST BE TEMPORARILY SEEDED. IF THE SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY GROUNDCOVER, THE DISTURBED AREAS SHALL BE MULCHED WITH STRAW OR EQUIVALENT MATERIAL. ADDITIONAL TIME FRAMES FOR STABILIZATION ARE SUBJECT TO THE REQUIREMENTS OF A REGULATED TRADITIONAL LAND USE MSA.
- THE OWNER'S CONTRACTOR SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, CLEANING, REPAIR AND REPLACEMENT OF EROSION CONTROL MEASURES DURING SITE CONSTRUCTION.
- ALL DISTURBED AREAS TO BE RECLAIMED WITH A MINIMUM OF 6" TOPSOIL.
- TEMPORARY SEEDING OF DISTURBED AREAS SHALL BE PROVIDED AS FOLLOWS:

THE SURFACE TWO INCHES OF SOIL SHOULD BE LOOSENEED BY DISKING, RAKING, OR BACK-BLADING WITH A BULLDOZER. IMMEDIATELY FERTILIZE WITH 300 LBS PER ACRE (OR 7 LBS. PER 1000 SQ. FT.) OF 10-10-10 FERTILIZER. IMMEDIATELY SEED WITH THE FOLLOWING MIX:

	LBS./ACRE	LBS./1000 SQ. FT.
ANNUAL RYEGRASS	40	1
PERENNIAL RYEGRASS	40	1
OATS	40	1
WHITE CLOVER (+ INNOCULANT)	4	0.1

SEED SHOULD HAVE A GERMINATION RATE OF AT LEAST 85 PERCENT AND MINIMAL INERT MATERIAL.

13. DISTURBED AREAS SHALL BE STABILIZED USING PERMANENT LAWN SEEDING MIX UPON COMPLETION OF GRADING AND CONSTRUCTION:

	LBS./ACRE	% BY PURITY	% GERM
PERENNIAL RYE GRASS	35	85	85
RED FESCUE	35	97	80
KENTUCKY BLUEGRASS	30	85	80

SEEDING RATE: 6.0 LBS PER 1,000 SQ. FT.
 MULCH: STRAW OR WOOD FIBER MULCH USED WITH HYDROSEEDING METHOD, AT TWO TONS PER ACRE WITH TACKIFIER
 STARTING FERTILIZER: 5-10-10 AT 20 LBS PER SQ. FT.

- SEE LANDSCAPE PLAN (BME DWG #2346A-14) FOR SWMF SEED MIXES.
- ALL SEEDED AREAS ARE TO BE MONITORED FOR GERMINATION AND EROSION. ERODED AREAS ARE TO BE BACKFILLED, TIME GRADED AND RE-SEEDED. AREAS THAT FAIL TO GERMINATE A MINIMUM OF 75% SHALL BE RE-SEEDED.
- ANY EXCAVATIONS THAT MUST BE DEWATERED SHALL BE PUMPED INTO AN APPROVED FILTERING DEVICE BEFORE ENTERING AN ACTIVE DRAINAGE SYSTEM OR DISPERSED TO AN UNDISTURBED AREA.
- THE OWNER SHALL BE RESPONSIBLE FOR REMOVING EXISTING EROSION CONTROL MEASURES THAT ARE LOCATED WITHIN ESTABLISHED AREAS TO INCLUDE THE TURBIDITY CURTAIN. MATERIALS ARE TO BE DISPOSED OF PROPERLY.
- UPON COMPLETION OF CONSTRUCTION AND FINAL STABILIZATION THE OWNER MAY FILE A NOTICE OF TERMINATION (NOT) WITH NYSDEC PER THE REQUIREMENTS OF THE GENERAL PERMIT GP-0-15-002.

SEQUENCE OF CONSTRUCTION STEPS:

STEP 1: (SITE PREPARATION)

- INSTALL AND MAINTAIN STABILIZED CONSTRUCTION ENTRANCE (SEE DETAIL) & STAGING AREA.
- CLEAR AND GRUB AS REQUIRED FOR PERIMETER SILT FENCE INSTALLATION.
- INSTALL PERIMETER SILT FENCE ALONG KIMBALL GULLY AND THE KEUKA LAKE OUTLET CHANNEL TOP OF BANK AND ALONG THE NYSDEC 100' BUFFER LIMIT (SEE PLANS FOR PROPOSED LOCATIONS).
- CLEAR AND GRUB SITE.

**STEP 2: (CONSTRUCTION ACTIVITY)
(LOT 1 DISTURBANCE AREA=4.6 ACRES)**

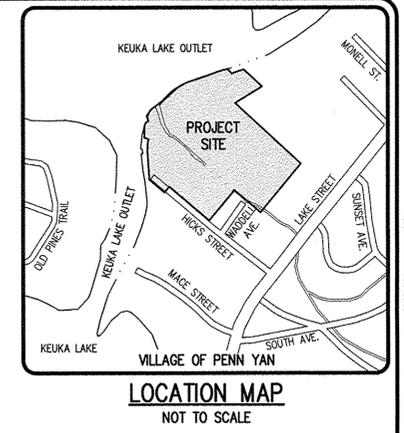
- STRIP TOPSOIL FROM THE AREAS TO BE DEVELOPED AS NECESSARY. CONSTRUCT THE STORMWATER MANAGEMENT FACILITY, INCLUDING THE OUTLET STRUCTURE. THE SWMF FORBAY AND DEEP POOL AREAS ARE TO BE UNDERCUT BY 2' TO ALLOW FOR SILT ACCUMULATION DURING CONSTRUCTION. COMPLETE GRADING, FINE GRADE, MULCH AND SEED PER POND SEEDING REQUIREMENTS. INSTALL PERIMETER DIVERSION SWALES TO THE STORM WATER MANAGEMENT FACILITY. IF AREA IS NOT TO BE DISTURBED WITHIN 7 DAYS, AREA MUST BE SEEDED WITHIN 7 DAYS.
- EXCAVATE AND FINE GRADE THE PROPOSED MARINA CHANNEL. MAINTAIN KEUKA LAKE OUTLET BANKS AS COFFER DAMS AS PER GEOTECHNICAL DESIGN BY OTHERS. INSTALL MARINA CHANNEL SHEET PILE RETAINING WALLS.
- INSTALL TURBIDITY CURTAIN AND MARINA/CLUBHOUSE SILT FENCE AND REMOVE COFFER DAM PER GEOTECHNICAL RECOMMENDATIONS. INSTALL CHANNEL RIP RAP AND COMPLETE CHANNEL GRADING/DREDGING TO KEUKA LAKE OUTLET MAIN CHANNEL (ELEVATION 709.0)
- STRIP AND STOCKPILE TOPSOIL FROM THE REMAINING PROPOSED DISTURBANCE AREAS INCLUDING ALL PROPOSED PAVEMENT AND BUILDING AREAS. TOPSOIL TO BE STOCKPILED IN THE DESIGNATED AREA AS SHOWN ON THE GRADING AND CONSTRUCTION EROSION CONTROL PLANS (BME DWG. #s: 2346-11 AND 2346-12). PERIMETER SILT FENCE TO BE INSTALLED AROUND THE PROPOSED TOPSOIL STOCKPILE.
- COMMENCE MASS GRADING OPERATIONS. INSTALL ADDITIONAL EROSION CONTROL MEASURES. MEASURES TO BE MAINTAINED BY THE CONTRACTOR UNTIL GROUND COVER HAS BEEN ESTABLISHED AND REMOVAL IS APPROVED BY THE TOWN/GOVERNING AGENCY. CONTRACTOR TO SEED AND MULCH DISTURBED AREAS WITHIN 7 DAYS OF COMPLETION.
- COMPLETE EARTHWORK, INCLUDING FINE GRADING OF SLOPES AND SWALES. SLOPES TO BE REPLACED WITH 6" OF TOPSOIL, MULCHED AND SEEDED WITHIN 7 DAYS OF COMPLETION. SILT FENCE TO BE INSTALLED AT TOE OF SLOPE.
- SEED AND MULCH ALL DISTURBED AREAS WITHIN 7 DAYS IF NOT WORKED WITHIN 7 DAYS, AS REQUIRED BY GP-0-15-002. SEED WITH A SEED MIX AS INDICATED, AND PROVIDE MULCH AS SPECIFIED IN THE NOTES.
- CONTRACTOR MAY INSTALL UTILITIES DURING GRADING OPERATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO STABILIZE THE SITE AND VERIFY GRADING ELEVATIONS PRIOR TO UTILITY CONSTRUCTION. ADDITIONAL EROSION CONTROL MEASURES, INCLUDING STONE CHECK DAMS AND/OR TEMPORARY SEDIMENT TRAPS SHALL BE PROVIDED AS SHOWN IN THE PLANS, OR AS DIRECTED.

STEP 3: (STABILIZATION & MONITORING)

- COMPLETE INSTALLATION OF UNDERGROUND UTILITIES AND ROAD BOX. RESTORE AND RE-SEED LAWN/LANDSCAPED AREAS AS NEEDED.
- INSTALL GUTTERS AND PAVEMENT WITH EROSION CONTROL MEASURES AS NECESSARY TO MINIMIZE SILT DISTRIBUTION ON EXISTING AND CONSTRUCTED ROADWAYS.
- MONITOR STORMWATER MANAGEMENT FACILITY, AND SEDIMENT CONTROL PRACTICES DURING CONSTRUCTION OPERATIONS FOR SILT ACCUMULATION. CONTRACTOR TO CLEAN AS NECESSARY.
- MAINTAIN PERIMETER SILT FENCE
- SEE CONSTRUCTION EROSION CONTROL NOTES FOR REQUIRED SEED MIXES AND WINTER SITE STABILIZATION METHODOLOGY.
- DUST SHALL BE CONTROLLED DURING CONSTRUCTION BY THE CONTRACTOR TO MINIMIZE EFFECT ON THE ADJACENT PROPERTIES. THE CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES AS NEEDED AND/OR AS DIRECTED BY THE TOWN ENGINEER OR OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE EXISTING ROADWAYS AND DRAINAGE CHANNELS FREE OF MUD, DIRT, AND DEBRIS. THE CONTRACTOR WILL CLEAN THESE AREAS AS NECESSARY OR AS REQUIRED BY THE OWNER OR VILLAGE OF PENN YAN.
- REMOVE TEMPORARY SEDIMENT CONTROLS UPON SITE STABILIZATION AND DIRECTION OF THE DESIGN ENGINEER AND VILLAGE.

GRADING NOTES:

- THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD, AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENTS IN THE AREAS OF CONSTRUCTION.
- EXISTING UNDERGROUND UTILITIES SHOWN HEREON WERE PLOTTED FROM FIELD LOCATIONS AND/OR UTILITY COMPANY RECORD PLANS. A MINIMUM OF 48 HOURS PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL CALL THE UFPO HOTLINE AT 1-800-962-7962 FOR STAKE-OUT OF EXISTING UTILITIES.
- LOWEST ADJACENT GRADE TO ANY PROPOSED BUILDINGS SHALL BE 721.5.
- THE CONTRACTOR SHALL CONTROL DUST ON SITE AS DIRECTED BY THE VILLAGE OF PENN YAN.
- FILL MATERIAL PLACED IN THE PAVEMENT AND BUILDING AREA SHALL BE SELECT MATERIAL AND COMPACTED TO A MINIMUM OF 95% OF THE MAXIMUM DRY DENSITY AS MEASURED BY THE MODIFIED PROCTOR TEST (ASTM D1557) AND/OR THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER. THE CONTRACTOR SHALL SUPPLY THE ENGINEER AND THE VILLAGE OF PENN YAN WITH COMPACTION TEST RESULTS PRIOR TO PLACING THE STONE SUBBASE.
- CONTRACTOR SHALL INSTALL STONE SUBBASE AND THE ASPHALT CONCRETE BINDER COURSE, PRIOR TO PLACING THE BINDER COURSE, THE ROAD BASE SHALL BE REVIEWED BY THE ENGINEER.
- THE REMAINING ASPHALT CONCRETE TOP COURSE WILL BE PLACED ONE YEAR AFTER THE BINDER COURSE.
- AREAS OUTSIDE OF BUILDINGS, DRIVEWAYS, ROADS, AND AREAS THAT REQUIRE COMPACTION ARE TO BE DEEP RIPPED IN CONFORMANCE WITH THE NYSDEC DESIGN MANUAL, DATED AUGUST 2015. THIS IS TO ENSURE POST-CONSTRUCTION SOIL CONDITIONS WILL PROVIDE INFILTRATION RATES EXPERIENCED UNDER PRE-CONSTRUCTION EXISTING CONDITIONS.



Drawing Alteration
 The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing:
 "It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way if an item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall affix to the item his seal and the notation "altered by" followed by his signature and the date of such alteration, and a specific description of the alteration."

NO.	REVISIONS	DATE	BY
7			
6			
5			
4			
3			
2			
1			

BME ASSOCIATES
 ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS
 PHONE: 562-377-7360
 FAX: 562-377-7369
 10 LIFT BRIDGE LANE EAST
 FAIRPORT, NEW YORK 14450
 WWW.BMEFCOM.COM

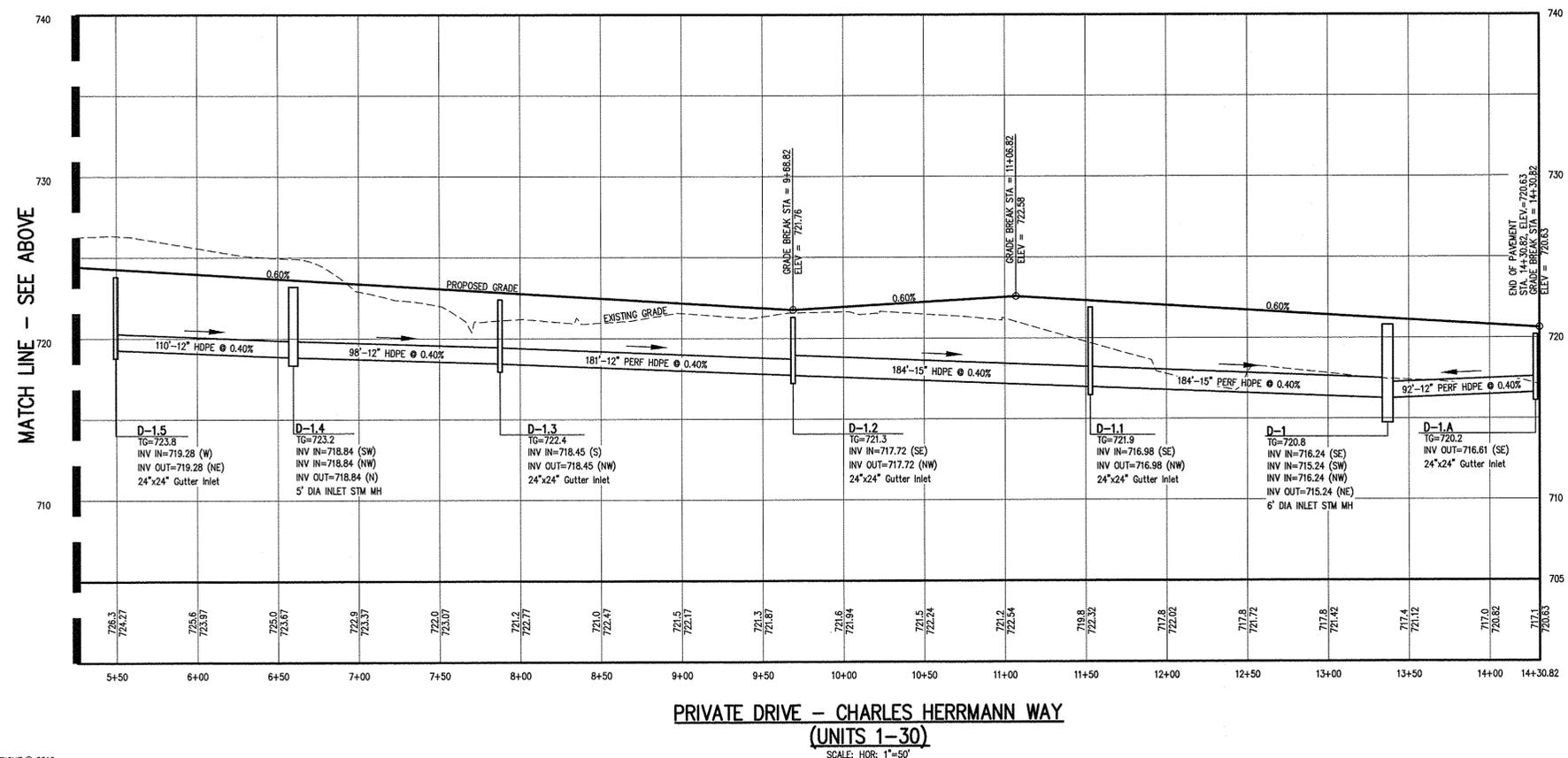
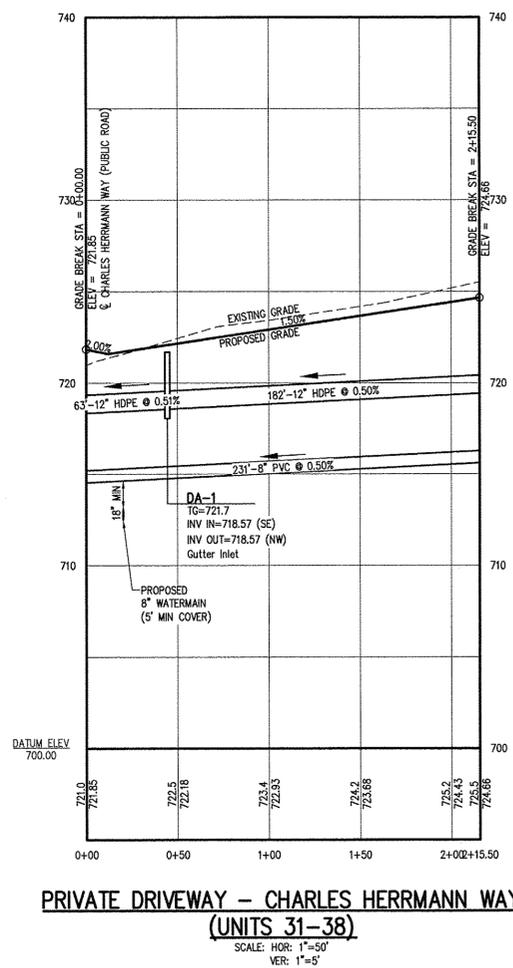
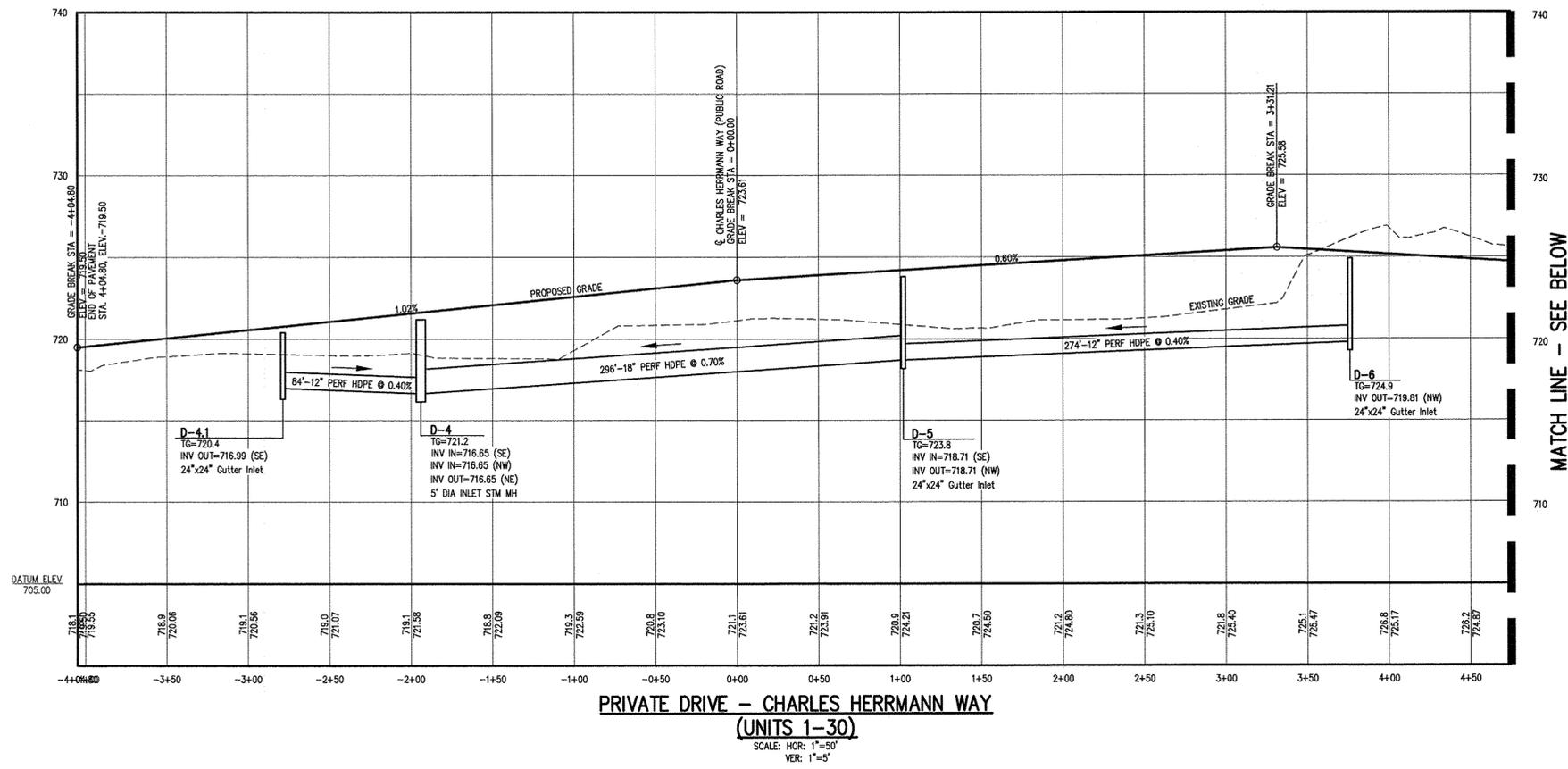


THE MOORINGS ON KEUKA
 TOWN OF PENN YAN, YATES COUNTY, NEW YORK STATE
 KEUKA LAKE OUTLET DEVELOPMENT, LLC.
 PO BOX 324
 GORHAM, NEW YORK 14460
 FINAL
NOTE SHEET

PROJECT: LOCATION: CLIENT: DRAWING TITLE:

PROJECT MANAGER: P. VARS/M. JANDA
 PROJECT ENGINEER: R. DESTRO
 DRAWN BY: F. SHELLEY
 SCALE: NA
 DATE ISSUED: FEBRUARY 2016
 PROJECT NO.: 2346A
 DRAWING NO.: 17

P:\2346A Drawings\Final\2346A_Design_Base.dwg



The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing:
"It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way if on item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall affix to the item his seal and the notation 'Altered by' followed by his signature and the date of such alteration, and a specific description of the alteration."

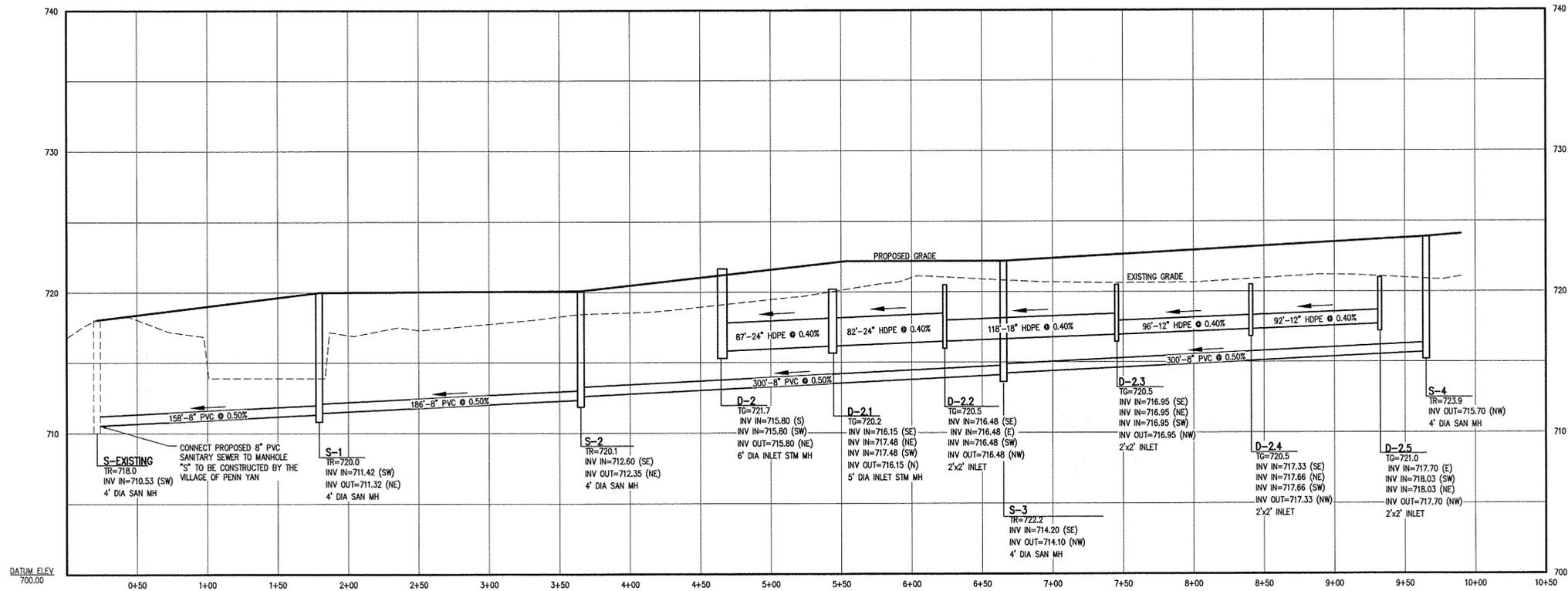
NO.	REVISIONS	DATE	BY
7			
6			
5			
4			
3			
2			
1			

BME ASSOCIATES
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS
10 LIFT BRIDGE LANE EAST
ROSELAND, N.J. 07068
WWW.BME.COM
PHONE 908-377-7800
FAX 908-377-7809

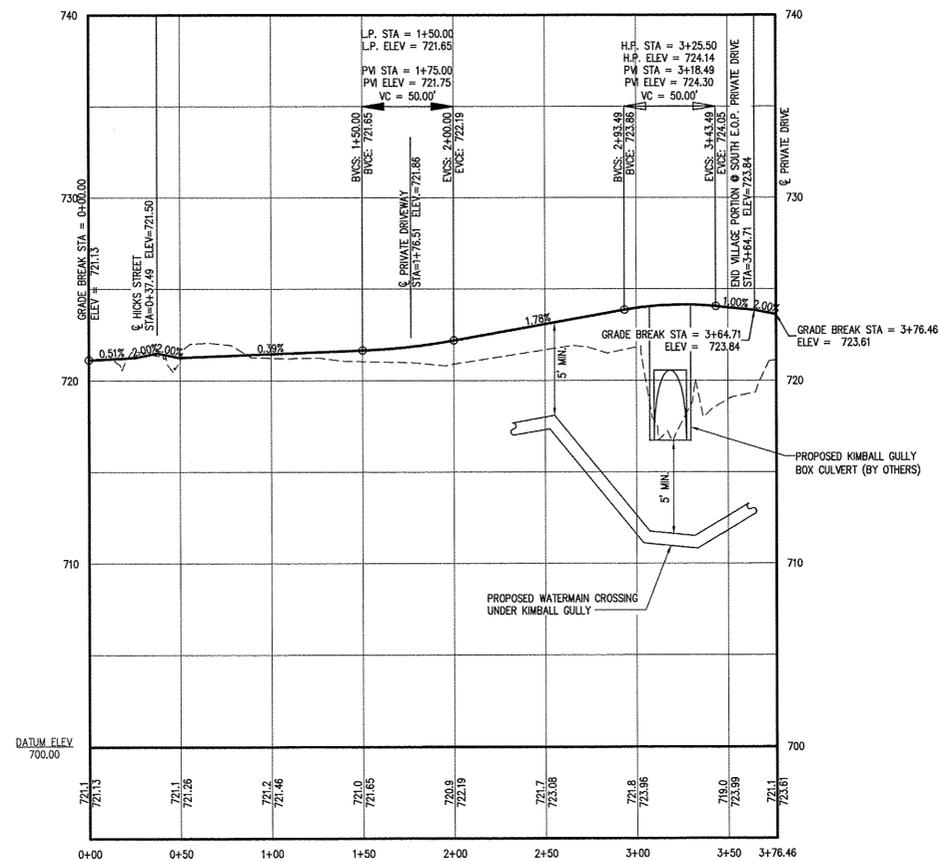


THE MOORINGS ON KEUKA
TOWN OF PENN YAN, YATES COUNTY, NEW YORK STATE
KEUKA OUTLET DEVELOPMENT, LLC.
PO BOX 214
GORHAM, NEW YORK 14461
FINAL
PROFILE SHEET

PROJECT MANAGER
P. VARS/M. JANDA
PROJECT ENGINEER
R. DESTIRO
DRAWN BY
A.P. BEYLER
SCALE
AS SHOWN
DATE ISSUED
FEBRUARY 2016
PROJECT NO.
2346A
DRAWING NO.
18
PROFILE SHEET 1 OF 2



S-4 TO S
SCALE: HOR: 1"=50'
VER: 1"=5'



CHARLES HERRMANN WAY (BY VILLAGE OF PENN YAN)

SCALE: HOR: 1"=50'
VER: 1"=5'

Drawing Alteration
The following is an exception from the New York State Excavation Law Article 145 Section 7209 and applies to this drawing:
It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way if an item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall affix to the item his seal and the notation "Altered by" followed by his signature and the date of such alteration, and a specific description of the alteration.

NO.	DATE	BY	REVISIONS
7			
6			
5			
4			
3			
2			
1			

BME ASSOCIATES
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS

10 LIFT BRIDGE LANE EAST
FAIRPORT, NEW YORK 14450
WWW.BMEPCOM

PHONE 565-377-7960
FAX 565-377-7819



THE MOORINGS ON KEUKA
TOWN OF PENN YAN, YATES COUNTY, NEW YORK STATE
KEUKA OUTLET DEVELOPMENT, LLC.
GORHAM, NEW YORK 14461

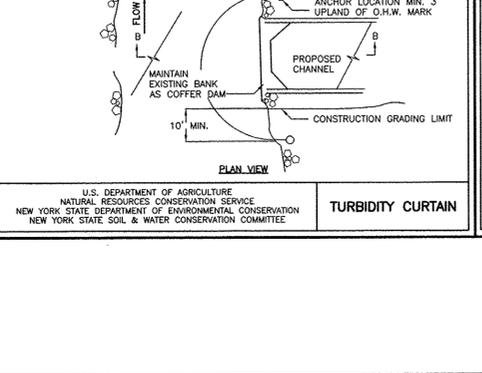
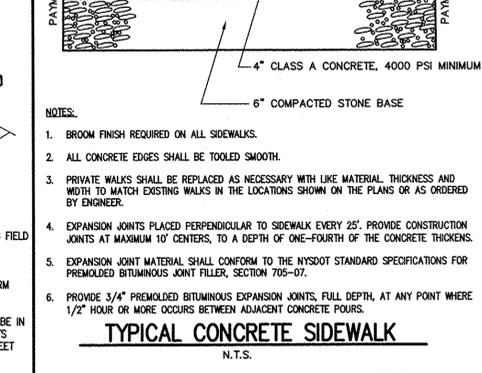
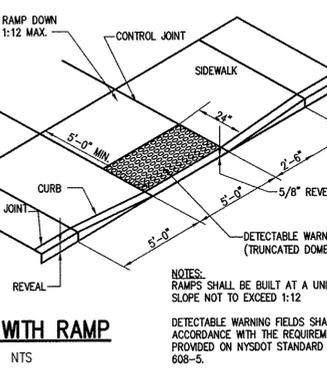
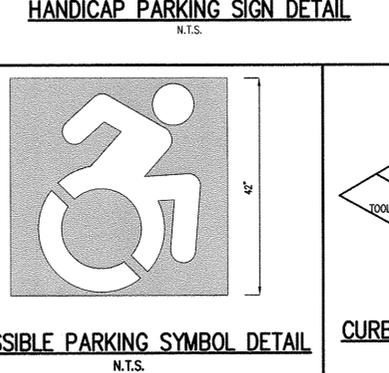
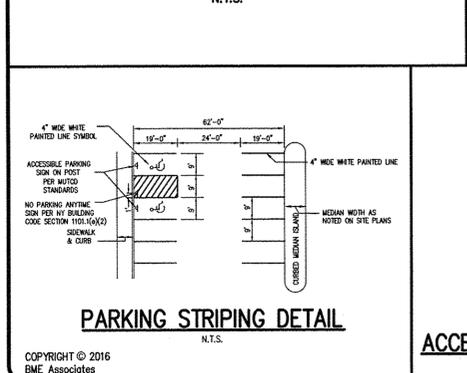
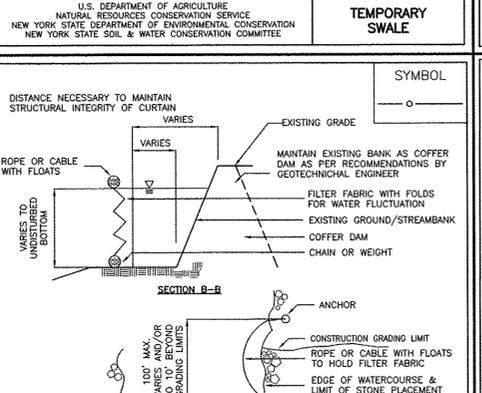
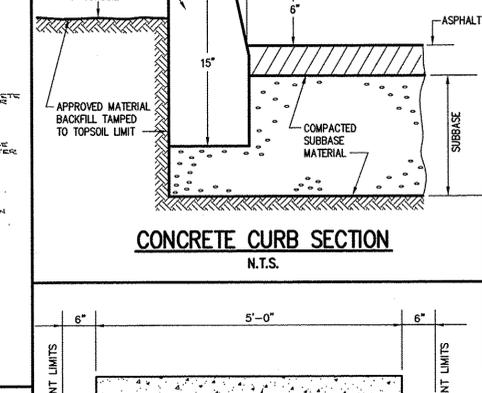
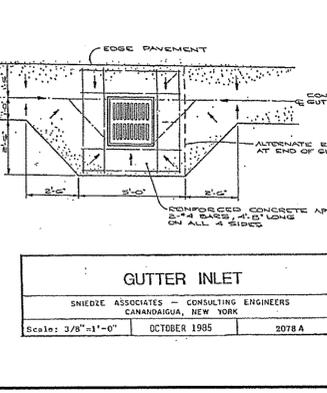
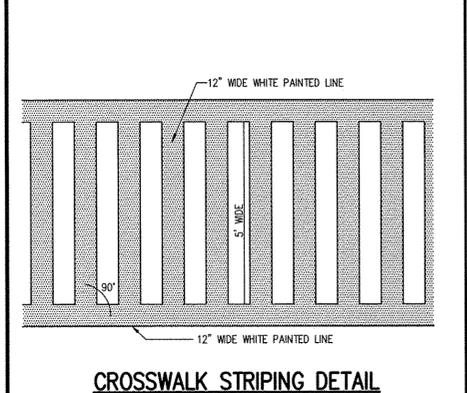
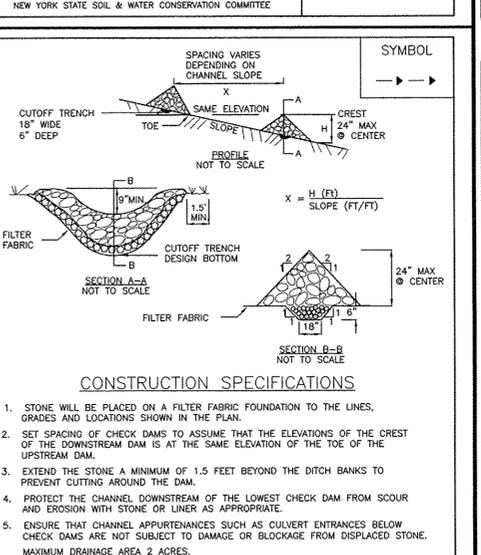
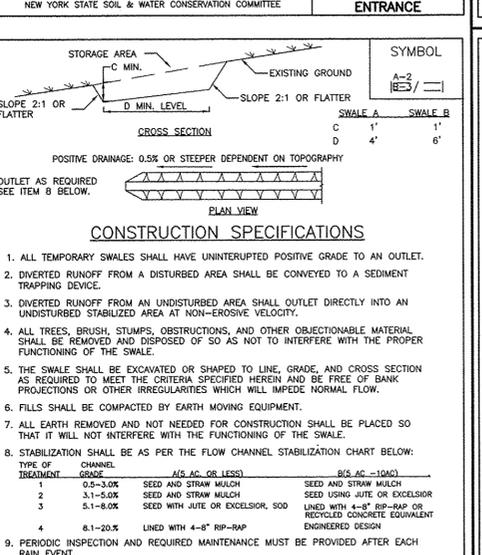
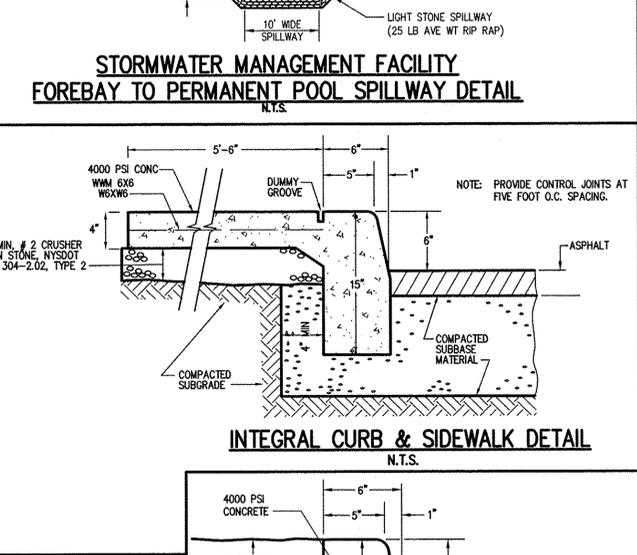
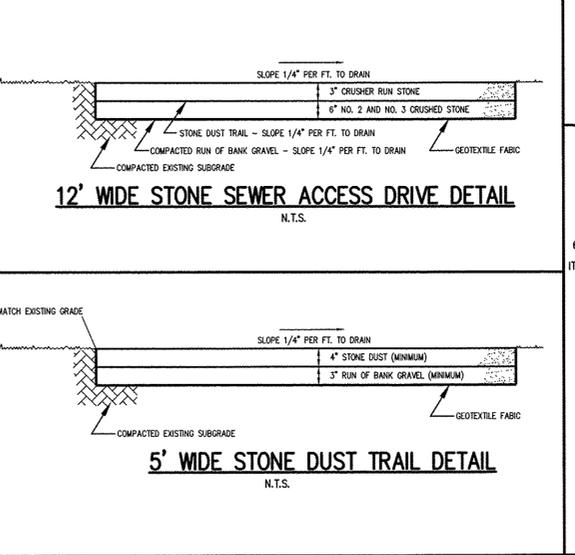
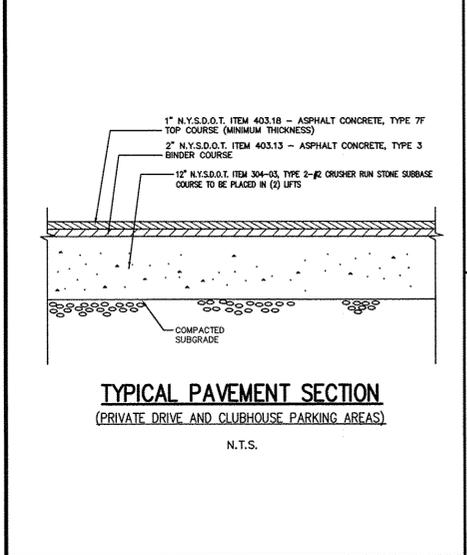
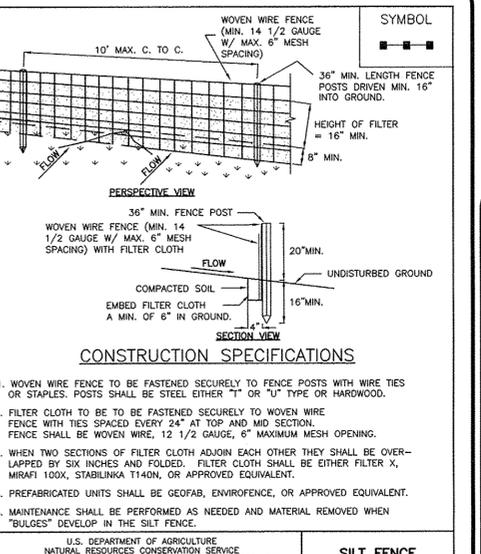
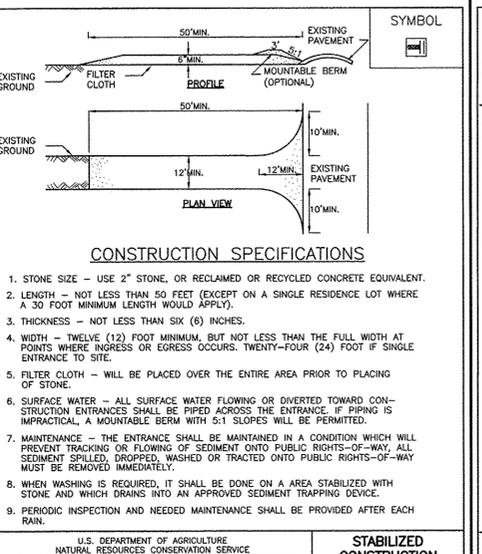
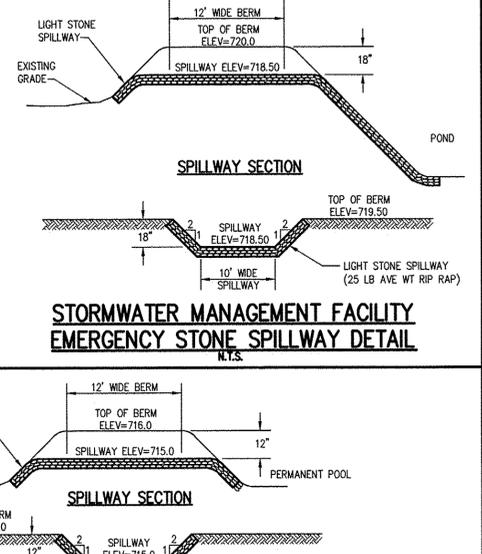
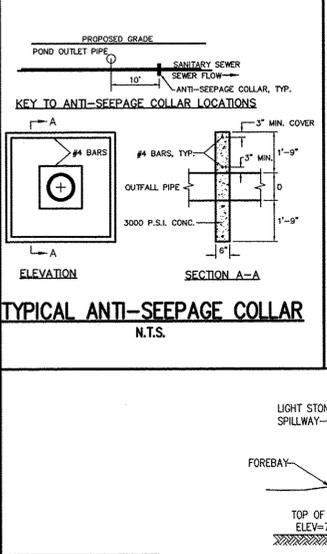
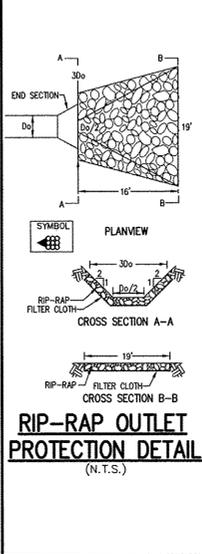
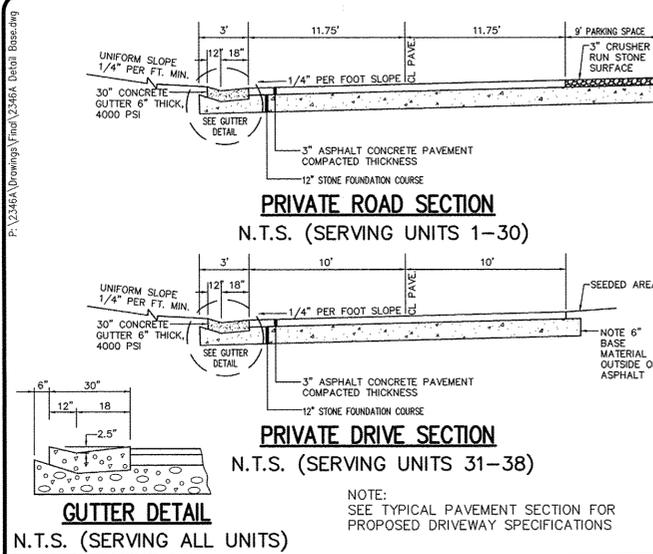
PROJECT LOCATION CLIENT DRAWING TITLE

PROFILE SHEET

PROJECT MANAGER
P. VARS/M. JANDA
PROJECT ENGINEER
R. DESTRO
DRAWN BY
F. SHELLEY

SCALE: 1" = 50'
DATE ISSUED: FEBRUARY 2016

PROJECT NO. 2346A
DRAWING NO. 19
PROFILE SHEET 2 OF 2



Drawing Alteration
The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing:
"It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor, to alter any item in any way, if an item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall affix to the item his seal and the notation 'altered by' followed by his signature and the date of such alteration, and a specific description of the alteration."

NO.	REVISIONS	DATE	BY
7			
6			
5			
4			
3			
2			
1			

BME ASSOCIATES
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS

PHONE 562-777-7590
FAX 562-777-7899

10 LIFT BRIDGE LANE EAST
FAIRPORT, NEW YORK 14450
WWW.BME.COM



THE MOORINGS ON KEUKA

VILLAGE OF PEEN YAN, Yates County, New York State
KEUKA OUTLET DEVELOPMENT, LLC
CORHAM, NEW YORK 14461

PROJECT LOCATION CLIENT DRAWING TITLE

FINAL DETAIL SHEET

PROJECT MANAGER
P. VARS/M. JANDA

PROJECT ENGINEER
R. DESTRO

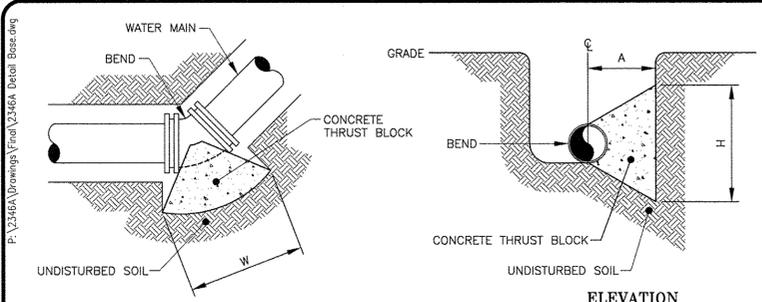
DRAWN BY
R. DESTRO

SCALE DATE ISSUED
N.T.S. FEBRUARY 2016

PROJECT NO.
2346A

DRAWING NO.
20

DETAIL SHEET 1 OF 2



HORIZONTAL THRUST BLOCK FOR BENDS
N.T.S.

MINIMUM HORIZONTAL THRUST BLOCK DIMENSIONS, IN FEET, TO BE POURED AGAINST UNDISTURBED SOIL.

FITTING *	H	W	A
8" x 11-1/4" BEND	1.0	1.0	1.5
8" x 22-1/2" BEND	1.0	1.5	1.5
8" x 45" BEND	1.5	2.0	1.5
8" x 90" BEND	2.0	2.5	1.5
8" TEE OR FLUG	1.5	2.5	1.0

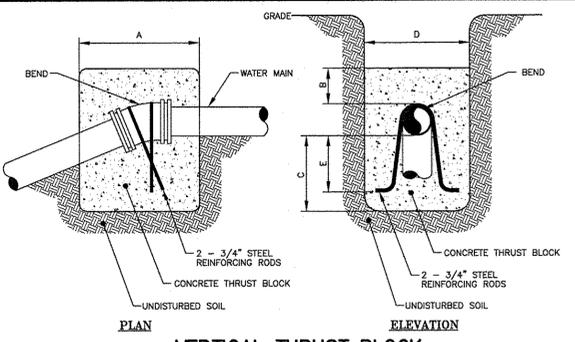
NOTE: WIDTH (W) OF BLOCK SHALL NOT EXCEED TWICE THE HEIGHT (H).

* COMPLETE ONLY THOSE DIMENSIONS FOR EACH TYPE OF FITTINGS THAT WILL ACTUALLY BE INSTALLED.

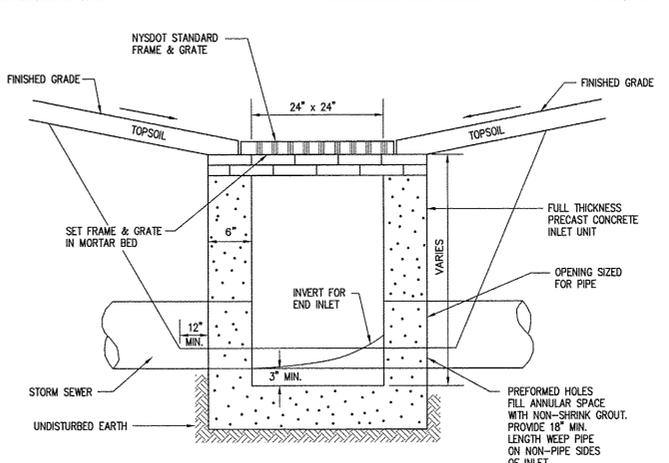
MINIMUM ALLOWABLE DIMENSIONS FOR VERTICAL THRUST BLOCKS (IN FEET)

BEND *	MINIMUM VOLUME OF CONCRETE DIMENSIONS	A	B	C	D	E
8" x 11-1/4"	1.00 CY	3.0	1.0	1.3	3.0	1.0
8" x 22-1/2"	1.50 CY	4.0	1.0	1.8	3.0	1.5
8" x 45"	2.50 CY	6.0	1.5	2.0	3.0	1.7

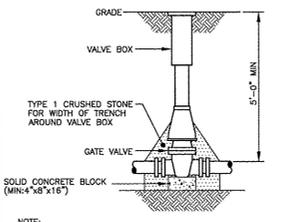
* COMPLETE ONLY THOSE DIMENSIONS FOR EACH TYPE OF FITTINGS THAT WILL ACTUALLY BE INSTALLED.



VERTICAL THRUST BLOCK
N.T.S.

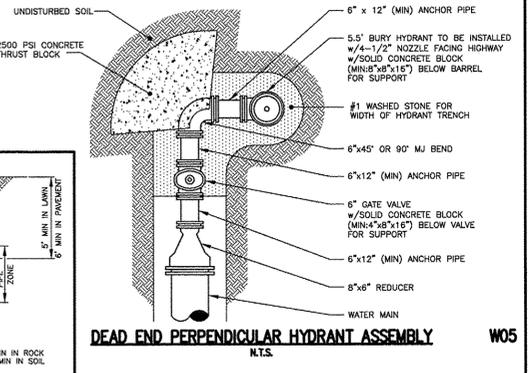


PRECAST CONCRETE STORM FIELD INLET DETAIL
N.T.S.



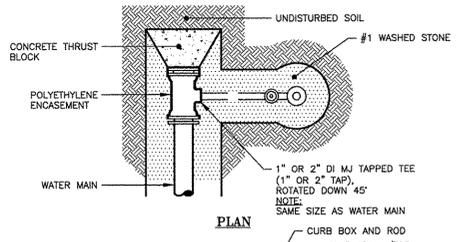
VALVE
N.T.S.

NOTE: 1. VALVE BOX SHALL BE CENTERED ON VALVE AND SET ON COMPACTED BACKFILL.
2. VALVE SHALL NOT SUPPORT VALVE BOX.
3. ALL BODY AND BONNET BOLTS SHALL BE STAINLESS STEEL.



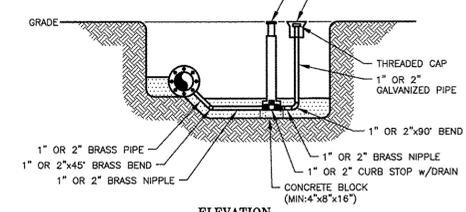
DEAD END PERPENDICULAR HYDRANT ASSEMBLY
N.T.S.

NOTE: TO BE USED WHEN WATER MAIN WILL NOT BE EXTENDED.



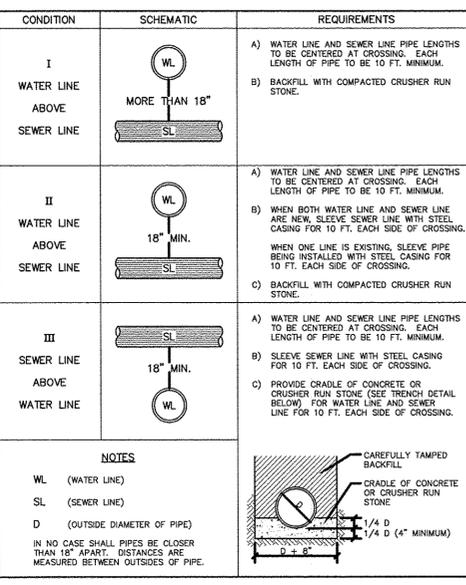
TAPPED TEE w/1\"/>

NOT TO SCALE

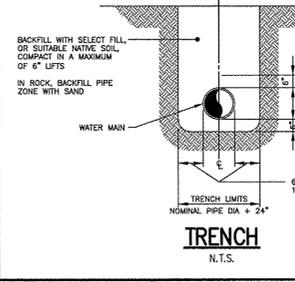


TAPPED TEE w/1\"/>

NOT TO SCALE

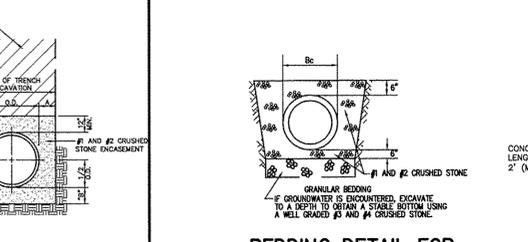


WATERMAIN/SEWER CROSSING DETAIL
N.T.S.

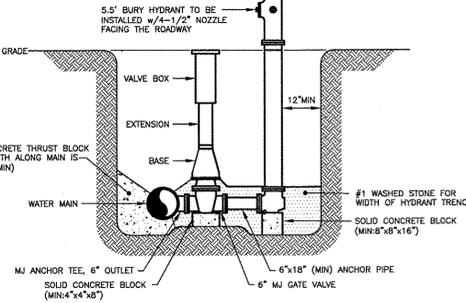


TRENCH
N.T.S.

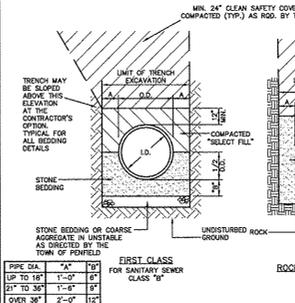
NOTE: 1. VALVE BOX SHALL BE CENTERED ON VALVE AND SET ON COMPACTED BACKFILL.
2. VALVE SHALL NOT SUPPORT VALVE BOX.
3. ALL BODY AND BONNET BOLTS SHALL BE STAINLESS STEEL.



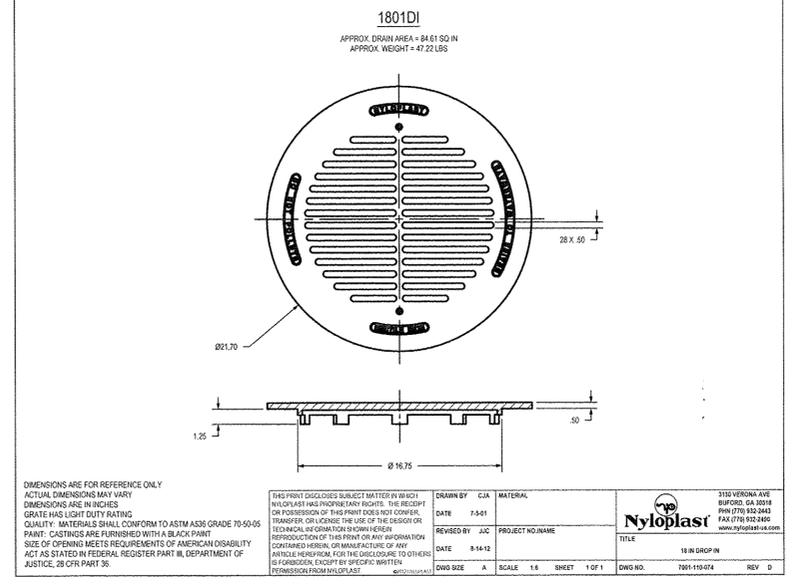
BEDDING DETAIL FOR STORM SEWER
N.T.S.



PERPENDICULAR HYDRANT ASSEMBLY
N.T.S.



SANITARY SEWER BEDDING DETAILS
N.T.S.

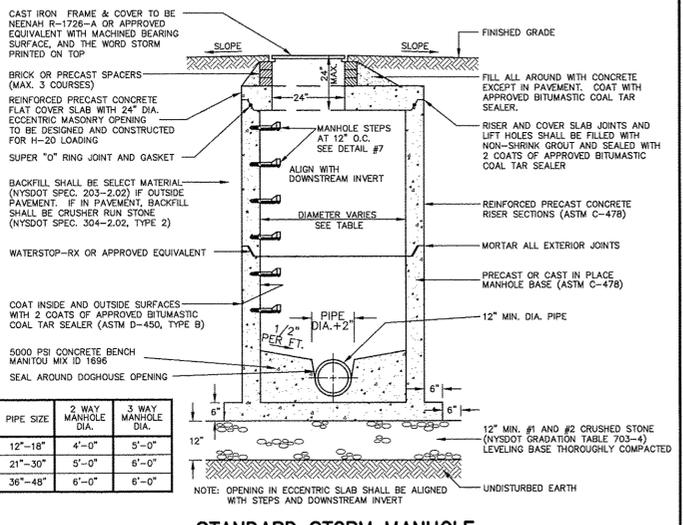


1810DI APPROX. DRAIN AREA = 84.61 SQ. IN. APPROX. WEIGHT = 47.22 LBS.

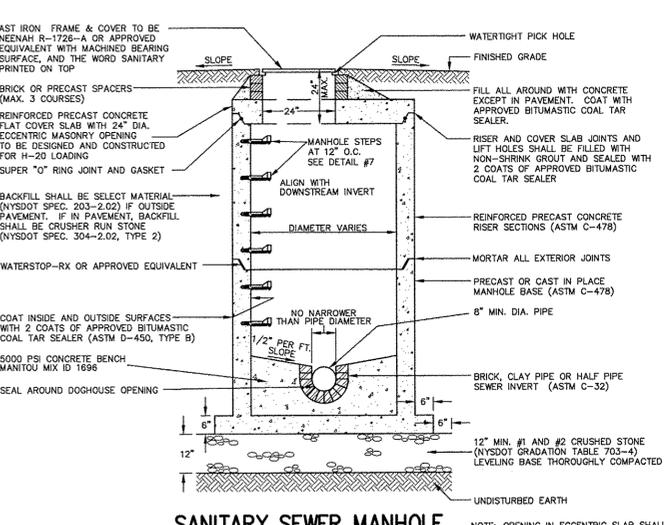
THIS PRINT DISCLOSES SUBJECT MATTER IN WHOLE OR IN PART TO ANY PERSON WHO HAS KNOWLEDGE OF THE RECEIPT OR POSSESSION OF THIS PRINT DOES NOT CONSTITUTE A WARRANTY OR ENDORSEMENT OF THE PRODUCT OR SERVICE BY NYLOPLAST. THE PRODUCT IS PROVIDED AS IS WITHOUT WARRANTY OF ANY KIND. THE MANUFACTURER OF ANY ARTICLE DESCRIBED HEREIN OR MANUFACTURE OF ANY ARTICLE DESCRIBED HEREIN FOR THE DISCLOSURE TO OTHERS IS FORBIDDEN, EXCEPT BY SPECIFIC WRITTEN PERMISSION FROM NYLOPLAST.

NYLOPLAST 18" IN-LINE DRAIN: 2718AG __ X

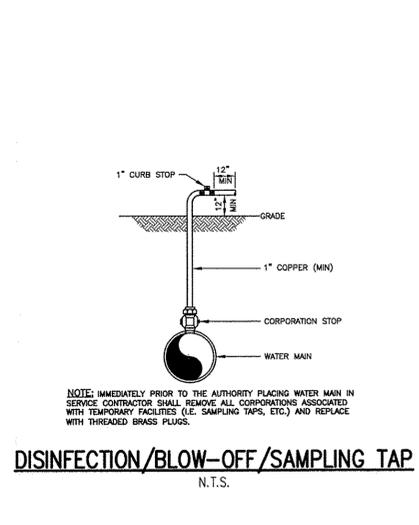
ADAPTER SIZE: 1 1/2, 2, 3, 4, 6, 8, 10, 12, 14, 16, 18, 20, 24, 30, 36, 42, 48, 54, 60, 72, 84, 96, 108, 120, 144, 168, 192, 216, 240, 270, 300, 360, 420, 480, 540, 600, 660, 720, 780, 840, 900, 960, 1020, 1080, 1140, 1200, 1260, 1320, 1380, 1440, 1500, 1560, 1620, 1680, 1740, 1800, 1860, 1920, 1980, 2040, 2100, 2160, 2220, 2280, 2340, 2400, 2460, 2520, 2580, 2640, 2700, 2760, 2820, 2880, 2940, 3000, 3060, 3120, 3180, 3240, 3300, 3360, 3420, 3480, 3540, 3600, 3660, 3720, 3780, 3840, 3900, 3960, 4020, 4080, 4140, 4200, 4260, 4320, 4380, 4440, 4500, 4560, 4620, 4680, 4740, 4800, 4860, 4920, 4980, 5040, 5100, 5160, 5220, 5280, 5340, 5400, 5460, 5520, 5580, 5640, 5700, 5760, 5820, 5880, 5940, 6000, 6060, 6120, 6180, 6240, 6300, 6360, 6420, 6480, 6540, 6600, 6660, 6720, 6780, 6840, 6900, 6960, 7020, 7080, 7140, 7200, 7260, 7320, 7380, 7440, 7500, 7560, 7620, 7680, 7740, 7800, 7860, 7920, 7980, 8040, 8100, 8160, 8220, 8280, 8340, 8400, 8460, 8520, 8580, 8640, 8700, 8760, 8820, 8880, 8940, 9000, 9060, 9120, 9180, 9240, 9300, 9360, 9420, 9480, 9540, 9600, 9660, 9720, 9780, 9840, 9900, 9960, 10020, 10080, 10140, 10200, 10260, 10320, 10380, 10440, 10500, 10560, 10620, 10680, 10740, 10800, 10860, 10920, 10980, 11040, 11100, 11160, 11220, 11280, 11340, 11400, 11460, 11520, 11580, 11640, 11700, 11760, 11820, 11880, 11940, 12000.



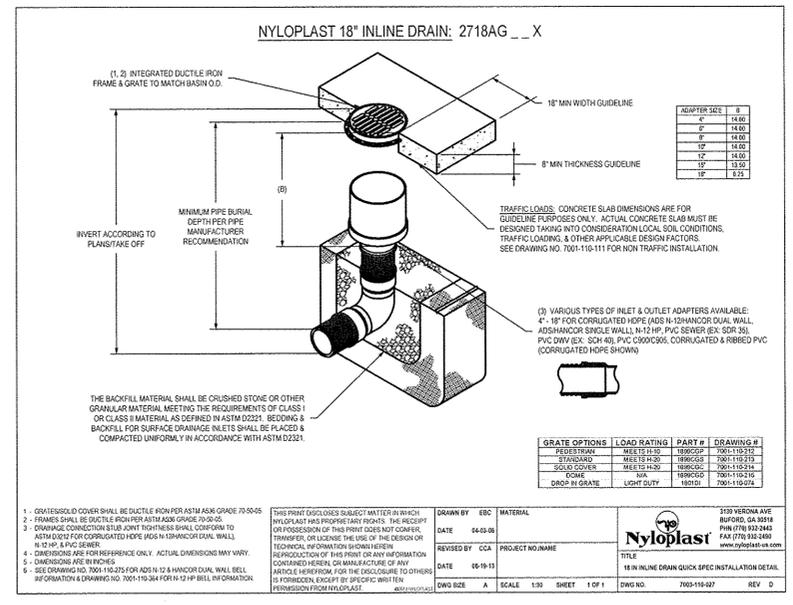
STANDARD STORM MANHOLE
N.T.S.



SANITARY SEWER MANHOLE
N.T.S.



DISINFECTION/BLOW-OFF/SAMPLING TAP
N.T.S.



1810DI APPROX. DRAIN AREA = 84.61 SQ. IN. APPROX. WEIGHT = 47.22 LBS.

THIS PRINT DISCLOSES SUBJECT MATTER IN WHOLE OR IN PART TO ANY PERSON WHO HAS KNOWLEDGE OF THE RECEIPT OR POSSESSION OF THIS PRINT DOES NOT CONSTITUTE A WARRANTY OR ENDORSEMENT OF THE PRODUCT OR SERVICE BY NYLOPLAST. THE PRODUCT IS PROVIDED AS IS WITHOUT WARRANTY OF ANY KIND. THE MANUFACTURER OF ANY ARTICLE DESCRIBED HEREIN OR MANUFACTURE OF ANY ARTICLE DESCRIBED HEREIN FOR THE DISCLOSURE TO OTHERS IS FORBIDDEN, EXCEPT BY SPECIFIC WRITTEN PERMISSION FROM NYLOPLAST.

NYLOPLAST 18" IN-LINE DRAIN: 2718AG __ X

ADAPTER SIZE: 1 1/2, 2, 3, 4, 6, 8, 10, 12, 14, 16, 18, 20, 24, 30, 36, 42, 48, 54, 60, 72, 84, 96, 108, 120, 144, 168, 192, 216, 240, 270, 300, 360, 420, 480, 540, 600, 660, 720, 780, 840, 900, 960, 1020, 1080, 1140, 1200, 1260, 1320, 1380, 1440, 1500, 1560, 1620, 1680, 1740, 1800, 1860, 1920, 1980, 2040, 2100, 2160, 2220, 2280, 2340, 2400, 2460, 2520, 2580, 2640, 2700, 2760, 2820, 2880, 2940, 3000, 3060, 3120, 3180, 3240, 3300, 3360, 3420, 3480, 3540, 3600, 3660, 3720, 3780, 3840, 3900, 3960, 4020, 4080, 4140, 4200, 4260, 4320, 4380, 4440, 4500, 4560, 4620, 4680, 4740, 4800, 4860, 4920, 4980, 5040, 5100, 5160, 5220, 5280, 5340, 5400, 5460, 5520, 5580, 5640, 5700, 5760, 5820, 5880, 5940, 6000, 6060, 6120, 6180, 6240, 6300, 6360, 6420, 6480, 6540, 6600, 6660, 6720, 6780, 6840, 6900, 6960, 7020, 7080, 7140, 7200, 7260, 7320, 7380, 7440, 7500, 7560, 7620, 7680, 7740, 7800, 7860, 7920, 7980, 8040, 8100, 8160, 8220, 8280, 8340, 8400, 8460, 8520, 8580, 8640, 8700, 8760, 8820, 8880, 8940, 9000, 9060, 9120, 9180, 9240, 9300, 9360, 9420, 9480, 9540, 9600, 9660, 9720, 9780, 9840, 9900, 9960, 10020, 10080, 10140, 10200, 10260, 10320, 10380, 10440, 10500, 10560, 10620, 10680, 10740, 10800, 10860, 10920, 10980, 11040, 11100, 11160, 11220, 11280, 11340, 11400, 11460, 11520, 11580, 11640, 11700, 11760, 11820, 11880, 11940, 12000.

Drawing Alteration
The following is an excerpt from the New York State Education Law Article 145 Section 7209 and applies to this drawing.
"It is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor to alter any item in any way, if an item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall affix to the item his seal and the notation "altered by" followed by his signature and the date of such alteration, and a specific description of the alteration."

NO.	REVISIONS	DATE	BY
7			
6			
5			
4			
3			
2			
1			

BME ASSOCIATES
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS

10 ULPT BRIDGE LANE EAST YORK, NY 14150
WWW.BME-CA.COM

PHONE: 352-772-2560
FAX: 352-577-7891



THE MOORINGS ON KEUKA
VILLAGE OF PEEN YAN, Yates County, New York State
KEUKA OUTLET DEVELOPMENT, LLC.
CORHAN, NEW YORK 14861

PROJECT LOCATION CLIENT DRAWING TITLE

FINAL DETAIL SHEET

PROJECT MANAGER: P. VARS/M. JANDA
PROJECT ENGINEER: R. DESTRO
DRAWN BY: R. DESTRO
SCALE: N.T.S.
DATE ISSUED: FEBRUARY 2016
PROJECT NO.: 2346A
DRAWING NO.: 21
DETAIL SHEET 2 OF 2